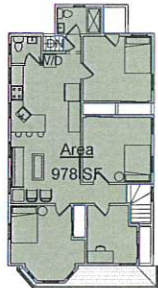
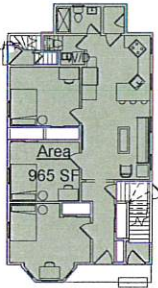


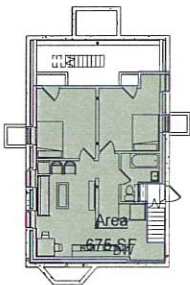
NET FLOOR AREA - PROPOSED	
LEVEL	AREA (sq.ft.)
Basement	675
First Floor	965
Second Floor	978
	2,617



10 NET FLOOR AREA - PROPOSED 2ND FL  
1/16" = 1'-0"

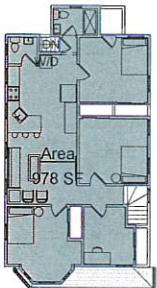


9 NET FLOOR AREA - PROPOSED 1ST FL  
1/16" = 1'-0"

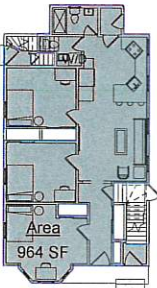


8 NET FLOOR AREA - PROPOSED BASEMENT  
1/16" = 1'-0"

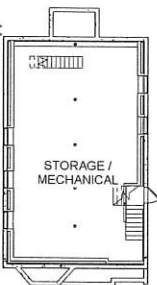
NET FLOOR AREA - EXISTING	
LEVEL	AREA (sq.ft.)
First Floor	964
Second Floor	978
	1,941



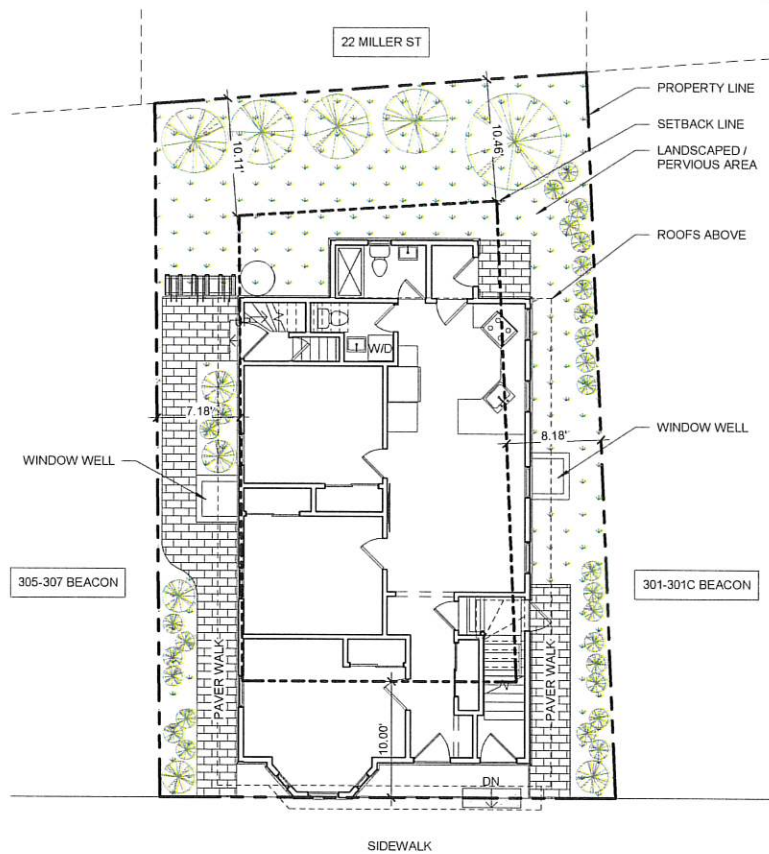
6 NET FLOOR AREA - EXISTING 2ND FL  
1/16" = 1'-0"



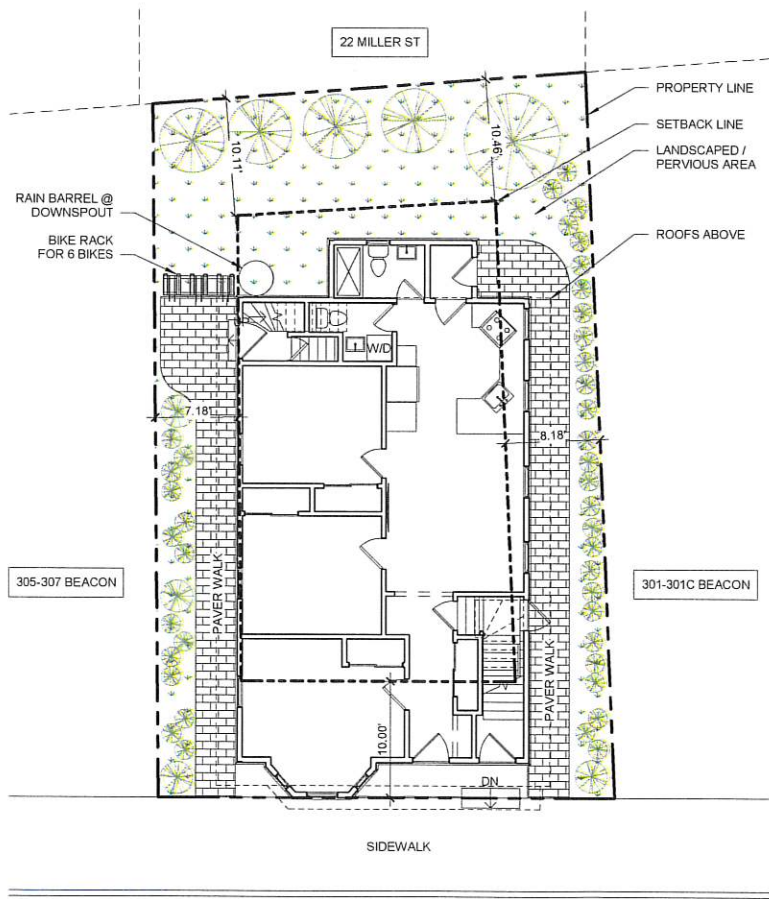
5 NET FLOOR AREA - EXISTING 1ST FL  
1/16" = 1'-0"



4 NET FLOOR AREA - EXISTING BASEMENT  
1/16" = 1'-0"



7 PROPOSED SITE PLAN  
1/8" = 1'-0"



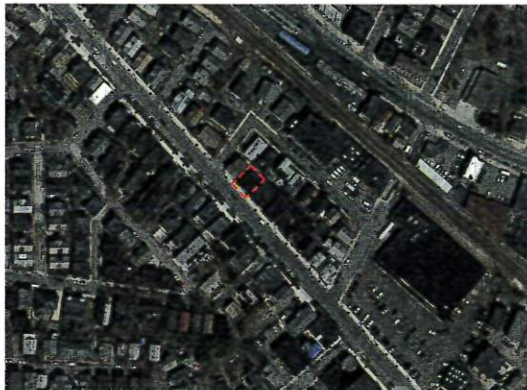
3 EXISTING SITE PLAN  
1/8" = 1'-0"

#### ZONING

	Minimum lot size	Minimum lot area / dwelling unit	Maximum ground coverage	Landscaped area, minimum percentage of lot)	Floor area ratio (F.A.R.)	Maximum height		Minimum front yard	Minimum side yards	Minimum rear yard	Minimum frontage	Pervious Area, minimum percentage of lot
	(Sq. Ft.)	(Sq. Ft.)	(%)	(%)	Maximum	Stories	(Feet)	(Feet)	(Feet)	(Feet)	(Feet)	(Percent)
Residence C (RC)	7,500	875	80	25	2.0	3	40	15	7.18/15.36	10.00	50	35
Existing	2,320	1,160	48.8	35.3	0.84	2	26.8	10	6.84/14.26	10.00	40.15	35.3
Proposed	2,320	773	48.8	38.9	1.13	2	26.8	10	6.84/14.26	10.00	40.15	38.9

#### Notes

- Front yard: If the average front yard depth of two (2) or more existing buildings on each side of a lot within one hundred (100) feet and within the district and same block, uninterrupted by an intersection, is less than the required front yard, the average of such existing front yard depths may be the required front yard depth for buildings of three (3) stories or less, but in no case may the front yard depth be less than ten (10) feet. Note—See Figure 8A.
- a. Projections into Front Yards: First story building elements such as bays, bay windows and oriel windows (provided that said bays, bay windows or oriel windows encumber no more than fifty percent (50%) of the length of the front side of the structure they project from), balconies, chimneys, flues and fire escapes, steps down from the first story, cornices, belt courses, leaders, sills, pilasters, lintels, decks, unenclosed porches, or other similar structures and ornamental features may project into a required front yard provided a minimum ten (10) foot distance is maintained from the front lot line.
- b. Fences, walls, steps, patios: Dimensional provisions of this Article shall not apply to:
  - front yard fences or walls not over four (4) feet high above the average natural grade, and side or rear yard fences/walls not over six (6) feet high above the average natural grade; steps of a height no more than three (3) feet above average grade;
  - patios.
- Projections into side yards: Bays, bay windows and oriel windows (provided that said bays, bay windows or oriel windows encumber no more than one-third of the length of the side of the structure they project from), balconies, chimneys, flues and fire escapes, steps down from the first story, and cornices, belt courses, leaders, sills, pilasters, lintels, decks, unenclosed porches, or other similar structures and ornamental features may project into a required side yard not more than one-quarter (1/4) of the required setback, nor more than three (3) feet in any case. 1/4 required setback = 1' - 9 1/2"
- Reduction of side yards for narrow lots: For each foot by which a lot is less than fifty (50) feet wide on the effective date of this Ordinance, one (1) inch may be deducted from the required width of each side yard and two (2) inches from the required width of both side yards, provided that no side yard shall be less than five (5) feet. No building projections, as enumerated in footnote 6 above, shall be allowed in the minimum five (5) foot side yard. Assessor's map width = 40.15 ft. Therefore = allowable minimum side yard = 7.18 ft / 15.36 ft
- Reduction of rear yards for shallow lots: For each foot by which a lot is less than one hundred (100) feet deep on the effective date of this Ordinance, three (3) inches may be deducted from the required depth of the rear yard, provided that no rear yard shall be less than ten (10) feet. Assessor's map depth = 59.50 ft. Therefore = allowable minimum rear yard = 10.00 ft
- Projections into rear yards: Bays, bay windows and oriel windows (provided that said bays, bay windows or oriel windows encumber no more than fifty percent (50%) of the length of the rear side of the structure they project from), as well as such structures and ornamental features as are enumerated in note 6 above may project into a required rear yard up to one-fourth (1/4) of the required setback, but in no case within ten (10) feet of a rear lot line. 1/4 required setback = 2' - 6"



2 AERIAL MAP



1 ASSESSOR'S MAP 39



10 Grand View Ave  
Somerville, MA 02143  
617-863-6491  
dsidel@mixdesigndevelop.com  
www.mixdesigndevelop.com

- DESIGN/BUILD NOTES:**
- ALL WORK RELATED TO PLUMBING, ELECTRICAL, FIRE ALARM, HVAC, AND FIRE PROTECTION SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED ON A DESIGN/BUILD BASIS. ALL WORK SHALL COMPLY WITH ALL RELEVANT FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
  - HVAC, ELECTRICAL, EMERGENCY LIGHTING, FIRE PROTECTION AND FIRE ALARM LAYOUTS WHERE SHOWN ARE FOR INFORMATION ONLY. INSTALLERS SHALL HAVE FULL RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE ARCHITECT FROM ANY AND ALL LIABILITY IN CONNECTION THEREIN. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.

- ELECTRICAL NOTES:**
- GC SHALL PROVIDE ALL CUTTING, CORING, PATCHING OF CHASES IN FLOORS OR WALLS AS REQUIRED. MAINTAIN REQUIRED FIRE PROTECTION.
  - MOUNTING HEIGHTS FOR ELECTRICAL RECEPTACLES AND SWITCHES SHALL MATCH EXISTING BUILDING EQUIPMENT AND CODE. ELECTRICAL RECEPTACLES MAY BE NO LOWER THAN 18" A.F.F. (CENTERLINE) MAXIMUM HEIGHT FOR CONTROLS IS 48" A.F.F.
  - COVER PLATES FOR ANY DEVICES SHALL NOT BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED.
  - ALL ELECTRICAL WORK SHALL BE COORDINATED WITH HVAC, CABINETWORK, PARTITION CONSTRUCTION AND ANY OTHER WORK WHERE SO REQUIRED/APPROPRIATE EVEN IF NOT SPECIFICALLY REQUESTED.
  - ELECTRICAL CONTRACTOR WILL COORDINATE ANY CHANGES OR CHANGE REQUESTS IN ELECTRICAL POWER OR DEVICE REQUIREMENTS WITH OWNER AND ARCHITECT.
  - WHERE REQUIRED TO PASS CABLES THROUGH THE STRUCTURE OR FLOOR, ALL SLEEVES AND CORES AROUND THE CABLES SHALL BE TIGHTLY PACKED WITH APPROVED FIRE-SAFE MATERIALS TO MAINTAIN SMOKE AND FIRE INTEGRITY BETWEEN FLOORS/WALLS.
  - COMPLY WITH ALL MANUFACTURER REQUIREMENTS FOR ELECTRICAL, TELEPHONE, AND OTHER ASSOCIATED DEVICES.

**APPLICABLE CODE:**  
MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND 2015 INTERNATIONAL BUILDING CODE

- GENERAL NOTES:**
- ALL TYPICAL NOTES ON EACH DRAWING TO APPLY UNIFORMLY.



No.	Description	Date

**CASSA**  
303 Beacon Street,  
Somerville, MA

## SITE PLAN & ZONING ANALYSIS

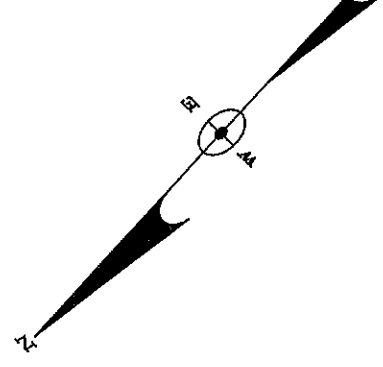
Project number 201901  
Date 10/29/2019

**A1**

Scale As indicated



Map 39H Lot 2  
N/F  
Rashpal Singh  
22 Miller St.



S46°52'38"E  
36.30'

Map 39H Lot 18  
2,326 sq. ft.

11.2'

Barrel  
Storage

4.9'

S42°05'53"W  
62.40'

Map 39H Lot 19  
N/F  
Vasiliki Yanakopoulos  
307 Beacon St.

Map 39H Lot 17  
N/F  
Josephine Mazullo  
301 Beacon St.

N45°39'07"E  
59.50'

#303  
2 Family  
Dwelling

Gas  
Meter

6.4'

N42°40'00"W  
40.15'

Concrete Walk

Granite Curb

BEACON STREET

ZONING DISTRICT - RC

REFERENCES:  
1) Deed Book 45264 Page 389  
2) Plan Book 71 Plan 40  
3) Plan Book 34 Plan 36  
4) Plan #1058 of 1993

PLOT PLAN  
303 BEACON STREET  
SOMERVILLE, MASSACHUSETTS

Prepared By  
LeBlanc Survey Associates, Inc.  
161 Holten Street  
Danvers, MA 01923  
(978) 774-6012

June 16, 2017 Scale: 1"=10'

HOR. SCALE IN FEET



- DESIGN/BUILD NOTES:**
- ALL WORK RELATED TO PLUMBING, ELECTRICAL, FIRE ALARM, HVAC, AND FIRE PROTECTION SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED ON A DESIGN/BUILD BASIS. ALL WORK SHALL COMPLY WITH ALL RELEVANT FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
  - HVAC, ELECTRICAL, EMERGENCY LIGHTING, FIRE PROTECTION AND FIRE ALARM LAYOUTS WHERE SHOWN ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY. INSTALLERS SHALL HAVE FULL RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE ARCHITECT FROM ANY AND ALL LIABILITY IN CONNECTION THEREIN.
  - ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
- ELECTRICAL NOTES:**
- GC SHALL PROVIDE ALL CUTTING, CORING, PATCHING OF CHASES IN FLOORS OR WALLS AS REQUIRED. MAINTAIN REQUIRED FIRE PROTECTION.
  - MOUNTING HEIGHTS FOR ELECTRICAL RECEPTACLES AND SWITCHES SHALL MATCH EXISTING BUILDING EQUIPMENT AND CODE. ELECTRICAL RECEPTACLES MAY BE NO LOWER THAN 18" A.F.F. (CENTERLINE) MAXIMUM HEIGHT FOR CONTROLS IS 48" A.F.F.
  - COVER PLATES FOR ANY DEVICES SHALL NOT BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED.
  - ALL ELECTRICAL WORK SHALL BE COORDINATED WITH HVAC, CABINETWORK, PARTITION CONSTRUCTION AND ANY OTHER WORK WHERE SO REQUIRED/APPROPRIATE EVEN IF NOT SPECIFICALLY REQUESTED.
  - ELECTRICAL CONTRACTOR WILL COORDINATE ANY CHANGES OR CHANGE REQUESTS IN ELECTRICAL POWER OR DEVICE REQUIREMENTS WITH OWNER AND ARCHITECT.
  - WHERE REQUIRED TO PASS CABLES THROUGH THE STRUCTURE OR FLOOR, ALL SLEEVES AND CORES AROUND THE CABLES SHALL BE TIGHTLY PACKED WITH APPROVED FIRE-SAFE MATERIALS TO MAINTAIN SMOKE AND FIRE INTEGRITY BETWEEN FLOORS/WALLS.
  - COMPLY WITH ALL MANUFACTURER REQUIREMENTS FOR ELECTRICAL, TELEPHONE, AND OTHER ASSOCIATED DEVICES.

**APPLICABLE CODE:**  
MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND 2015 INTERNATIONAL RESIDENTIAL CODE

**GENERAL NOTES:**

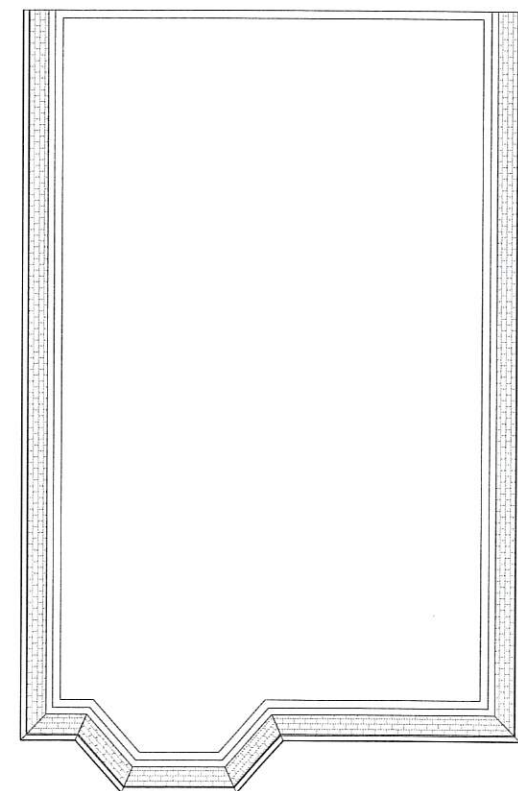
- ALL TYPICAL NOTES ON EACH DRAWING TO APPLY UNIFORMLY.



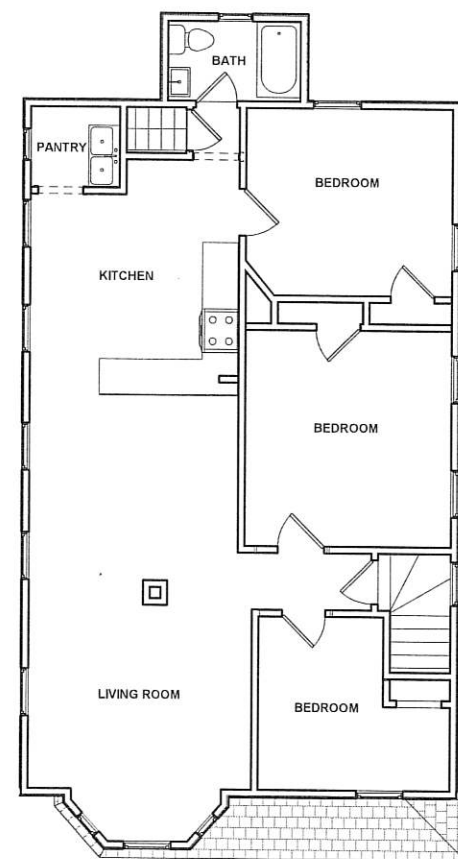
No.	Description	Date

**CASSA**  
303 Beacon Street,  
Somerville, MA  
**EXISTING PLANS**

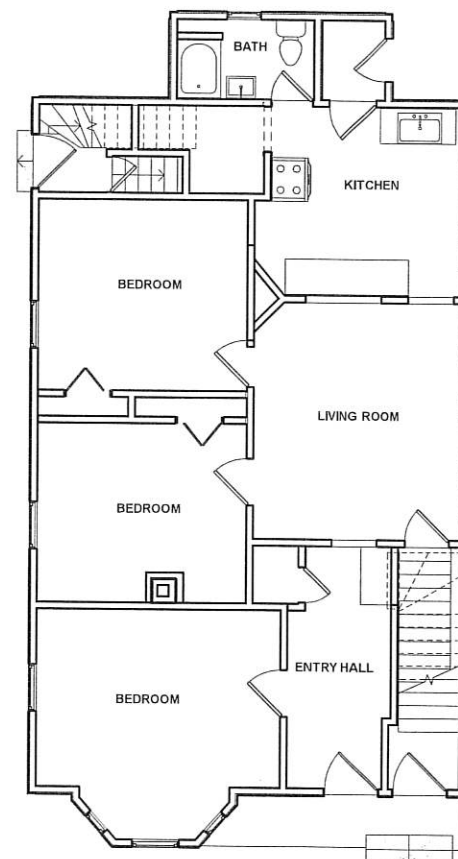
Project number	201901
Date	9/30/2019
<b>AE2</b>	
Scale	3/16" = 1'-0"



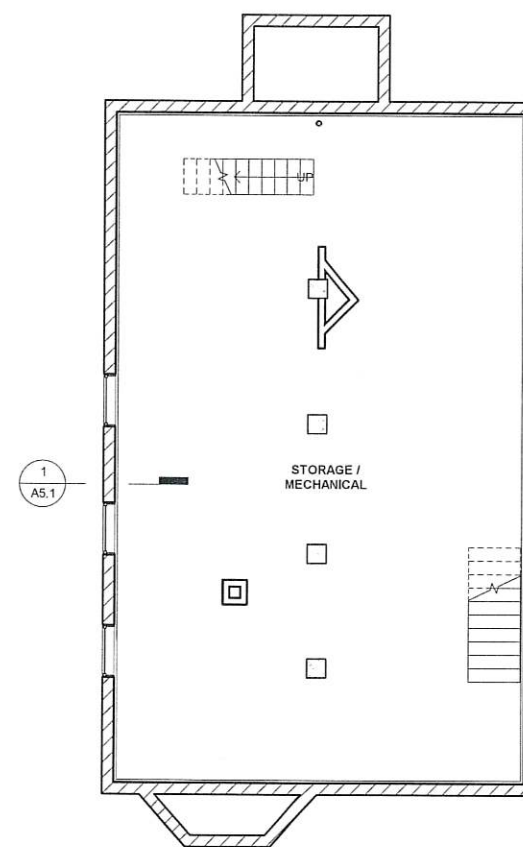
4 EXISTING ROOF PLAN  
3/16" = 1'-0"



3 EXISTING SECOND FLOOR PLAN  
3/16" = 1'-0"



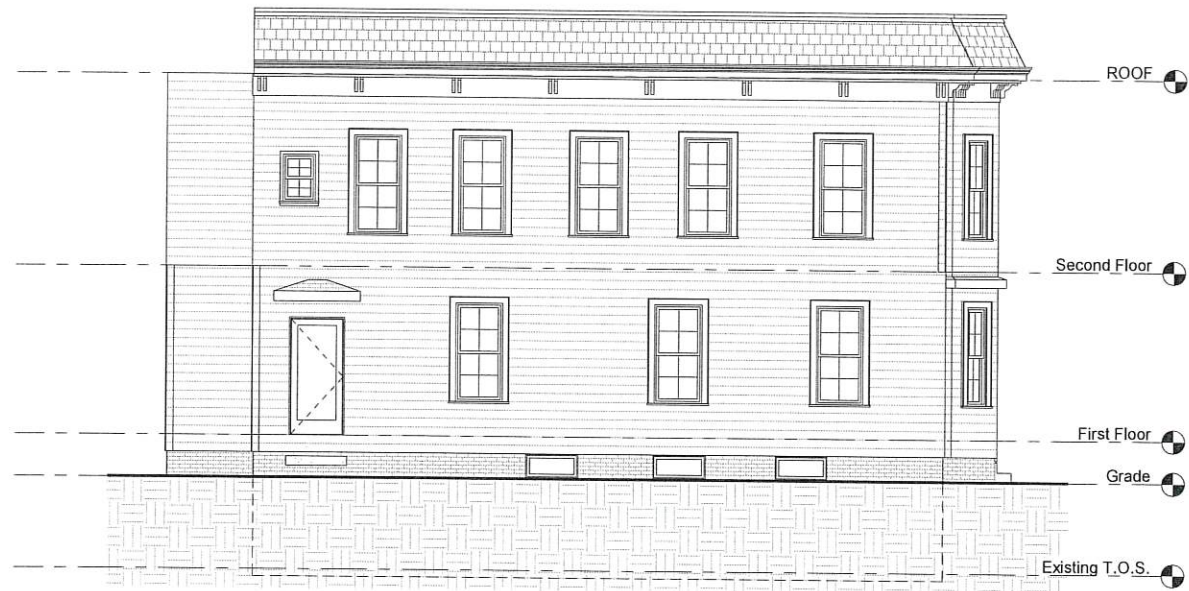
2 EXISTING FIRST FLOOR PLAN  
3/16" = 1'-0"



1 EXISTING BASEMENT PLAN  
3/16" = 1'-0"



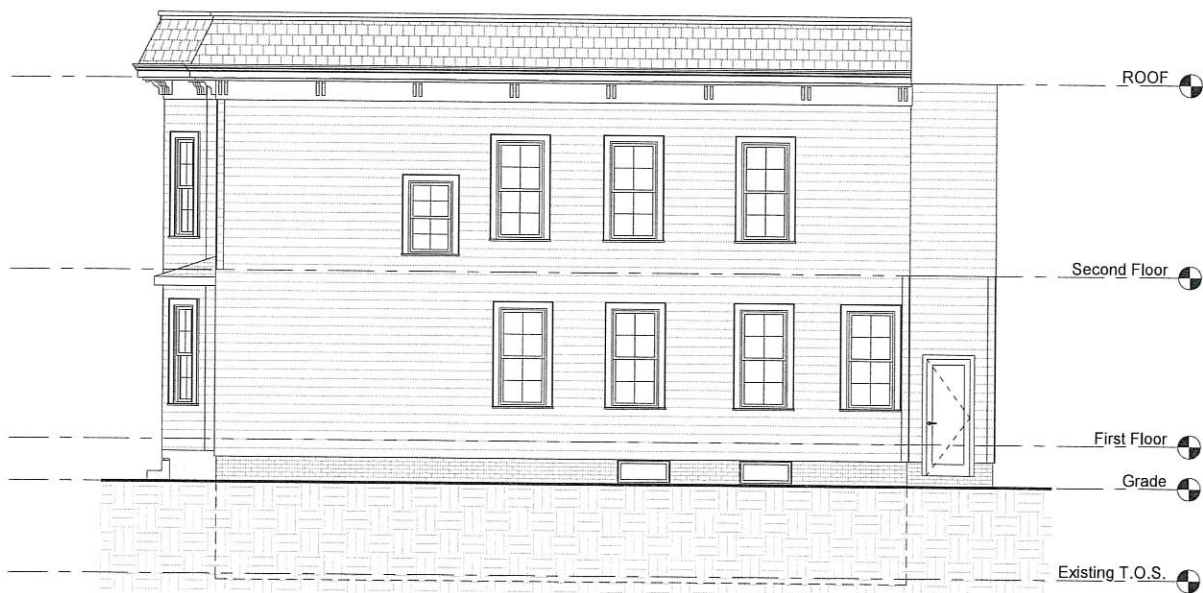
- DESIGN/BUILD NOTES:**
1. ALL WORK RELATED TO PLUMBING, ELECTRICAL, FIRE ALARM, HVAC, AND FIRE PROTECTION SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED ON A DESIGN/BUILD BASIS. ALL WORK SHALL COMPLY WITH ALL RELEVANT FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
  2. HVAC, ELECTRICAL, EMERGENCY LIGHTING, FIRE PROTECTION AND FIRE ALARM LAYOUTS WHERE SHOWN ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY. INSTALLERS SHALL HAVE FULL RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE ARCHITECT FROM ANY AND ALL LIABILITY IN CONNECTION THEREIN.
  3. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
- ELECTRICAL NOTES:**
1. GC SHALL PROVIDE ALL CUTTING, CORING, PATCHING OF CHASES IN FLOORS OR WALLS AS REQUIRED. MAINTAIN REQUIRED FIRE PROTECTION.
  2. MOUNTING HEIGHTS FOR ELECTRICAL RECEPTACLES AND SWITCHES SHALL MATCH EXISTING BUILDING EQUIPMENT AND CODE. ELECTRICAL RECEPTACLES MAY BE NO LOWER THAN 18" A.F.F. (CENTERLINE) MAXIMUM HEIGHT FOR CONTROLS IS 48" A.F.F.
  3. COVER PLATES FOR ANY DEVICES SHALL NOT BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED.
  4. ALL ELECTRICAL WORK SHALL BE COORDINATED WITH HVAC, CABINETWORK, PARTITION CONSTRUCTION AND ANY OTHER WORK WHERE SO REQUIRED/APPROPRIATE EVEN IF NOT SPECIFICALLY REQUESTED.
  5. ELECTRICAL CONTRACTOR WILL COORDINATE ANY CHANGES OR CHANGE REQUESTS IN ELECTRICAL POWER OR DEVICE REQUIREMENTS WITH OWNER AND ARCHITECT.
  6. WHERE REQUIRED TO PASS CABLES THROUGH THE STRUCTURE OR FLOOR, ALL SLEEVES AND CORES AROUND THE CABLES SHALL BE TIGHTLY PACKED WITH APPROVED FIRE-SAFE MATERIALS TO MAINTAIN SMOKE AND FIRE INTEGRITY BETWEEN FLOORS/WALLS.
  7. COMPLY WITH ALL MANUFACTURER REQUIREMENTS FOR ELECTRICAL, TELEPHONE, AND OTHER ASSOCIATED DEVICES.
- APPLICABLE CODE:**  
MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND 2015 INTERNATIONAL RESIDENTIAL CODE
- GENERAL NOTES:**
1. ALL TYPICAL NOTES ON EACH DRAWING TO APPLY UNIFORMLY.



④ EXISTING SIDE 2 ELEVATION  
3/16" = 1'-0"



② EXISTING REAR ELEVATION  
3/16" = 1'-0"



③ EXISTING SIDE 1 ELEVATION  
3/16" = 1'-0"



① EXISTING FRONT ELEVATION  
3/16" = 1'-0"



No.	Description	Date

**CASSA**  
303 Beacon Street,  
Somerville, MA

**EXISTING  
ELEVATIONS**

Project number 201901  
Date 9/30/2019

**AE4**

Scale 3/16" = 1'-0"



DESIGN/BUILD NOTES:

- ALL WORK RELATED TO PLUMBING, ELECTRICAL, FIRE ALARM, HVAC, AND FIRE PROTECTION SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED ON A DESIGN/BUILD BASIS. ALL WORK SHALL COMPLY WITH ALL RELEVANT FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
- HVAC, ELECTRICAL, EMERGENCY LIGHTING, FIRE PROTECTION AND FIRE ALARM LAYOUTS WHERE SHOWN ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY. INSTALLERS SHALL HAVE FULL RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE ARCHITECT FROM ANY AND ALL LIABILITY IN CONNECTION THEREIN.
- ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.

ELECTRICAL NOTES:

- GC SHALL PROVIDE ALL CUTTING, CORING, PATCHING OF CHASES IN FLOORS OR WALLS AS REQUIRED. MAINTAIN REQUIRED FIRE PROTECTION.
- MOUNTING HEIGHTS FOR ELECTRICAL RECEPTACLES AND SWITCHES SHALL MATCH EXISTING BUILDING EQUIPMENT AND CODE. ELECTRICAL RECEPTACLES MAY BE NO LOWER THAN 18" A.F.F. (CENTERLINE) MAXIMUM HEIGHT FOR CONTROLS IS 48" A.F.F.
- COVER PLATES FOR ANY DEVICES SHALL NOT BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED.
- ALL ELECTRICAL WORK SHALL BE COORDINATED WITH HVAC, CABINETWORK, PARTITION CONSTRUCTION AND ANY OTHER WORK WHERE SO REQUIRED/APPROPRIATE EVEN IF NOT SPECIFICALLY REQUESTED.
- ELECTRICAL CONTRACTOR WILL COORDINATE ANY CHANGES OR CHANGE REQUESTS IN ELECTRICAL POWER OR DEVICE REQUIREMENTS WITH OWNER AND ARCHITECT.
- WHERE REQUIRED TO PASS CABLES THROUGH THE STRUCTURE OR FLOOR, ALL SLEEVES AND CORES AROUND THE CABLES SHALL BE TIGHTLY PACKED WITH APPROVED FIRE-SAFE MATERIALS TO MAINTAIN SMOKE AND FIRE INTEGRITY BETWEEN FLOORS/WALLS.
- COMPLY WITH ALL MANUFACTURER REQUIREMENTS FOR ELECTRICAL, TELEPHONE, AND OTHER ASSOCIATED DEVICES.

APPLICABLE CODE:  
MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND 2015 INTERNATIONAL RESIDENTIAL CODE

GENERAL NOTES:

- ALL TYPICAL NOTES ON EACH DRAWING TO APPLY UNIFORMLY.



No.	Description	Date

CASSA  
303 Beacon Street,  
Somerville, MA

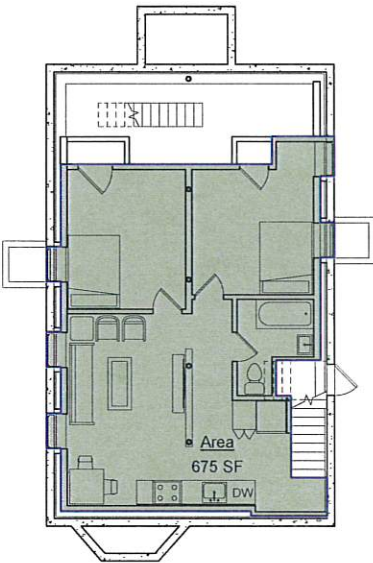
AREA PLANS

Project number 201901  
Date 9/30/2019

A1.2

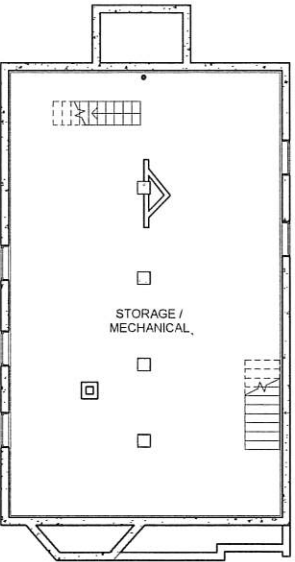
Scale 1/8" = 1'-0"

NET FLOOR AREA - PROPOSED	
LEVEL	AREA (sq.ft.)
Existing T.O.S.	675
First Floor	960
Second Floor	978
	2,613

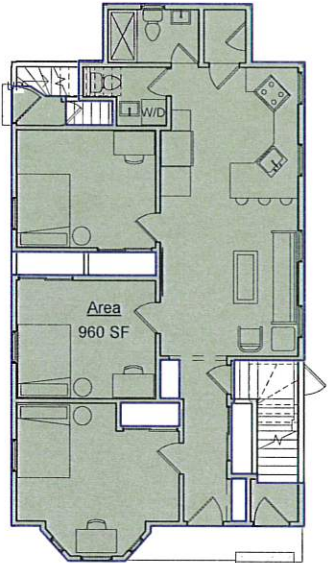


④ NET FLOOR AREA - PROPOSED BASEMENT  
1/8" = 1'-0"

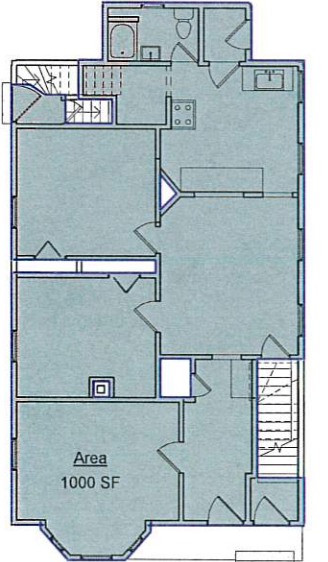
NET FLOOR AREA - EXISTING	
LEVEL	AREA (sq.ft.)
First Floor	1,000
Second Floor	1,007
	2,007



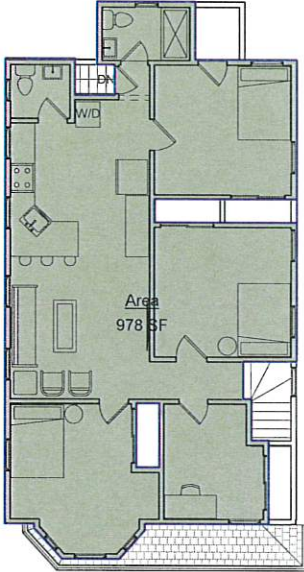
① NET FLOOR AREA - EXISTING BASEMENT  
1/8" = 1'-0"



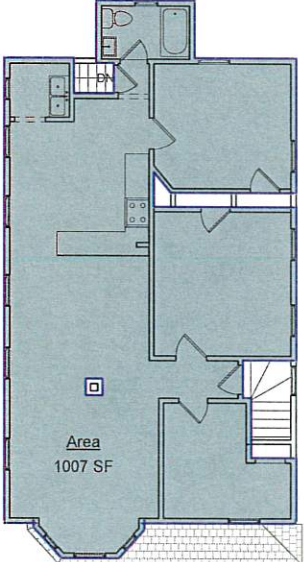
⑤ NET FLOOR AREA - PROPOSED FIRST FLOOR  
1/8" = 1'-0"



② NET FLOOR AREA - EXISTING FIRST FLOOR  
1/8" = 1'-0"



⑥ NET FLOOR AREA - PROPOSED SECOND FLOOR  
1/8" = 1'-0"



③ NET FLOOR AREA - EXISTING SECOND FLOOR  
1/8" = 1'-0"



FINISH SCHEDULE						
ROOM NUMBER	ROOM NAME	WALL FINISH	BASE FINISH	FLOOR FINISH	CEILING FINISH	NOTES
1	STORAGE / MECHANICAL	ETR	ETR	ETR	ETR	
2	KITCHEN 1	PT	WB	WD	GWB	
3	LIVING/DINING ROOM 1	PT	WB	WD	GWB	
4	BEDROOM 1.1	PT	WB	WD	GWB	
5	BEDROOM 1.2	PT	WB	WD	GWB	
6	BEDROOM 1.3	PT	WB	WD	GWB	
7	HALF BATH 1	PT	WB	T	GWB	
8	BATHROOM 1	PT	WB	T	GWB	
9	BEDROOM 2.3	PT	WB	WD	GWB	
10	BEDROOM 2.2	PT	WB	WD	GWB	
11	OFFICE	PT	WB	WD	GWB	
12	BEDROOM 2.1	PT	WB	WD	GWB	
13	LIVING/DINING ROOM 2	PT	WB	WD	GWB	
14	KITCHEN 2	PT	WB	WD	GWB	
15	HALF BATH 2	PT	WB	T	GWB	
16	BATHROOM 2	T, PT	WB	T	GWB	
17	UTIL	PT	WB	WD	GWB	1
21	UTILITIES	PT	WB	WD	GWB	
B1	STORAGE / UTILITIES	PT	WB	WD	GWB	
B2	BEDROOM B1	PT	WB	WD	GWB	
B3	KITCHEN	PT	WB	WD	GWB	
B4	BATHROOM B	PT	WB	WD	GWB	
B5	BEDROOM B2	PT	WB	WD	GWB	

#### GENERAL NOTES:

- ALL GWS TO BE INSTALLED W/ TAPERED EDGES AND (3) COATS JOINT FINISH.
- NO SWITCH DEVICE COVER PLATES SHALL BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED. IF SAID UNITS ARE INSTALLED PRIOR TO FINISHES, THEY SHALL BE REMOVED PRIOR TO PROCEEDING WITH FINISH WORK.
- PAINT SHALL BE BEST QUALITY LOW/NO VOC LATEX OR ALKYD BASE AS SPECIFIED. THE GC SHALL SUBMIT ANY SMOKE/FIRE CLASSIFICATION FOR ALL WALL FINISHES AS REQUIRED BY ANY GOVERNING AUTHORITIES.
- PAINT @ WALL FIELD: ENAMEL EGGSHELL FINISH, COLOR BY OWNER.
- PAINT @ ACCENT WALL: ENAMEL SEMI-GLOSS FINISH, COLOR BY OWNER.
- PAINT @ DOOR JAMBS: ENAMEL SEMI-GLOSS FINISH, COLOR BY OWNER.
- PAINT @ DOOR PANELS: ENAMEL SEMI-GLOSS FINISH, COLOR BY OWNER.
- PAINT @ GWS CLG. SATIN, CLG BRIGHT WHITE, (3) COATS MIN.

- ON FERROUS METAL: ALKYD METAL PRIMER SHOP COAT, 2 COATS ALKYD ENAMEL SEMI-GLOSS FINISH.
- ON ALUMINUM: ZINC CHROMATE PRIMER SHOP COAT, 2 COATS ALKYD ENAMEL SEMI-GLOSS FINISH.
- ON PAINTED WOOD: ALKYD UNDERCOAT, 2 COATS ALKYD ENAMEL SEMI-GLOSS (OR SHEEN AS NOTED) FINISH.
- ON GYPSUM WALL BOARD: LATEX PRIMER, 2 COATS LATEX ENAMEL EGGSHELL (OR SHEEN AS NOTED) FINISH.

#### NOTES:

- UTILITY ROOM FOR SECOND FLOOR HIGH EFFICIENCY FURNACE.

#### FINISH SCHEDULE NOTES

WALL  
PT - PAINTED  
T - TILE

BASE  
WB - PAINTED WOOD BASE

FLOOR  
CT - CERAMIC TILE  
C - UNFINISHED CONCRETE  
CPT - CARPET  
VT - VINYL TILE

CEILING  
GWB - PAINTED GWS CEILING

DOOR SCHEDULE										
LOCATION	DOOR	FRAME	DIMENSIONS	HDWR	NOTES					
DOOR NUMBER	TYP	MAT	FINISH	TYPE	MAT	FINISH	WIDTH	HEIGHT	SET	
1.1	S	WD	PT	PH	WD	PT	54"	80"		
1.2	SP	WD	PT	PH	WD	PT	30"	80"		
4.1	S	WD	PT	PH	WD	PT	54"	80"		
5.2	S	WD	PT	PH	WD	PT	54"	80"		
6.1	SP	WD	PT	PH	WD	PT	30"	80"		
6.2	S	WD	PT	PH	WD	PT	54"	80"		
7.1	F	WD	PT	PH	WD	PT	28"	80"		
9.1	S	WD	PT	PH	WD	PT	30"	80"		
9.2	SP	WD	PT	PH	WD	PT	30"	80"		
10.1	S	WD	PT	PH	WD	PT	30"	80"		
11.1	S	WD	PT	PH	WD	PT	54"	80"		
12.1	SP	WD	PT	PH	WD	PT	30"	80"		
12.2	S	WD	PT	PH	WD	PT	54"	80"		
15.1	SP	WD	PT	PH	WD	PT	30"	80"		
B2.1	SP	WD	PT	PH	WD	PT	30"	80"		
B2.2	SP	WD	PT	PH	WD	PT	30"	80"		
B4.1	SP	WD	PT	PH	WD	PT	30"	80"		
B5.1	SP	WD	PT	PH	WD	PT	30"	80"		
B5.2	SP	WD	PT	PH	WD	PT	30"	80"		
EXT2							36"	80"		
EXT5	SP	WD	CLR	C	HM	PT	32"	80"		

#### DOOR SCHEDULE NOTES

DOOR  
SP - SINGLE PANEL  
WD - WOOD  
ST - STAINED

FRAMING  
PH - PRE-HUNG  
PT - PAINTED

#### GENERAL NOTES

- PROVIDE ALL NEW ARCHITECTURAL STAIN GRADE SOLID CORE DOORS.

#### INTERIOR PARTITION SCHEDULE

TYPE NO.	FRAMING MATERIAL	FRAMING			SHEATHING			INSULATION TYPE	OVERALL DIMENSIONS		NOTES
		FRAMING SIZE	FRAMING GAUGE	FRAMING SPACING	SHEATHING TYPE	SHEATHING 1ST SIDE	SHEATHING 2ND SIDE		WIDTH	HEIGHT	
1	WD	2x4	-	16" OC	GWB	5/8"	5/8"	-	4 3/4"	UD	
2	WD	2x4	-	16" OC	M	5/8"	-	-	4 1/8"	UD	
3	PT / MTL	2x4 / 7/8"	20	16" OC	M	5/8"	-	MF	4 7/8"	UD	
4	PT / MTL	2x6 / 7/8"	20	16" OC	M	5/8"	5/8"	MF	6 7/8"	UD	

#### WALL SCHEDULE NOTES

FRAMING  
MTL - METAL STUD  
WD - WOOD STUD  
PT - PRESSURE TREATED WOOD STUD

SHEATHING  
GWB - GYPSUM WALL BOARD  
M - MOLD-RESISTANT GYPSUM WALL BOARD

INSULATION  
MF - MINERAL FIBER INSULATION

OVERALL DIMENSIONS  
UD - UNDERSIDE OF DECK

#### GENERAL NOTES:

- PARTITIONS ARE TYPE 1 UNLESS OTHERWISE MARKED.



10 Grand View Ave  
Somerville, MA 02143  
617-863-6491  
dsidel@mixondevelopment.com  
www.mixondevelopment.com

#### DESIGN/BUILD NOTES:

- ALL WORK RELATED TO PLUMBING, ELECTRICAL, FIRE ALARM, HVAC, AND FIRE PROTECTION SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED ON A DESIGN/BUILD BASIS. ALL WORK SHALL COMPLY WITH ALL RELEVANT FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
- HVAC, ELECTRICAL, EMERGENCY LIGHTING, FIRE PROTECTION AND FIRE ALARM LAYOUTS WHERE SHOWN ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY. INSTALLERS SHALL HAVE FULL RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE ARCHITECT FROM ANY AND ALL LIABILITY IN CONNECTION THEREIN.
- ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.

#### ELECTRICAL NOTES:

- GC SHALL PROVIDE ALL CUTTING, CORING, PATCHING OF CHASES IN FLOORS OR WALLS AS REQUIRED. MAINTAIN REQUIRED FIRE PROTECTION.
- MOUNTING HEIGHTS FOR ELECTRICAL RECEPTACLES AND SWITCHES SHALL MATCH EXISTING BUILDING EQUIPMENT AND CODE. ELECTRICAL RECEPTACLES MAY BE NO LOWER THAN 18" A.F.F. (CENTERLINE) MAXIMUM HEIGHT FOR CONTROLS IS 48" A.F.F.
- COVER PLATES FOR ANY DEVICES SHALL NOT BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED.
- ALL ELECTRICAL WORK SHALL BE COORDINATED WITH HVAC, CABINETWORK, PARTITION CONSTRUCTION AND ANY OTHER WORK WHERE SO REQUIRED/APPROPRIATE EVEN IF NOT SPECIFICALLY REQUESTED.
- ELECTRICAL CONTRACTOR WILL COORDINATE ANY CHANGES OR CHANGE REQUESTS IN ELECTRICAL POWER OR DEVICE REQUIREMENTS WITH OWNER AND ARCHITECT.
- WHERE REQUIRED TO PASS CABLES THROUGH THE STRUCTURE OR FLOOR, ALL SLEEVES AND CORES AROUND THE CABLES SHALL BE TIGHTLY PACKED WITH APPROVED FIRE-SAFE MATERIALS TO MAINTAIN SMOKE AND FIRE INTEGRITY BETWEEN FLOORS/WALLS.
- COMPLY WITH ALL MANUFACTURER REQUIREMENTS FOR ELECTRICAL, TELEPHONE, AND OTHER ASSOCIATED DEVICES.

APPLICABLE CODE:  
MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND 2015 INTERNATIONAL RESIDENTIAL CODE

#### GENERAL NOTES:

- ALL TYPICAL NOTES ON EACH DRAWING TO APPLY UNIFORMLY.



No.	Description	Date

CASSA

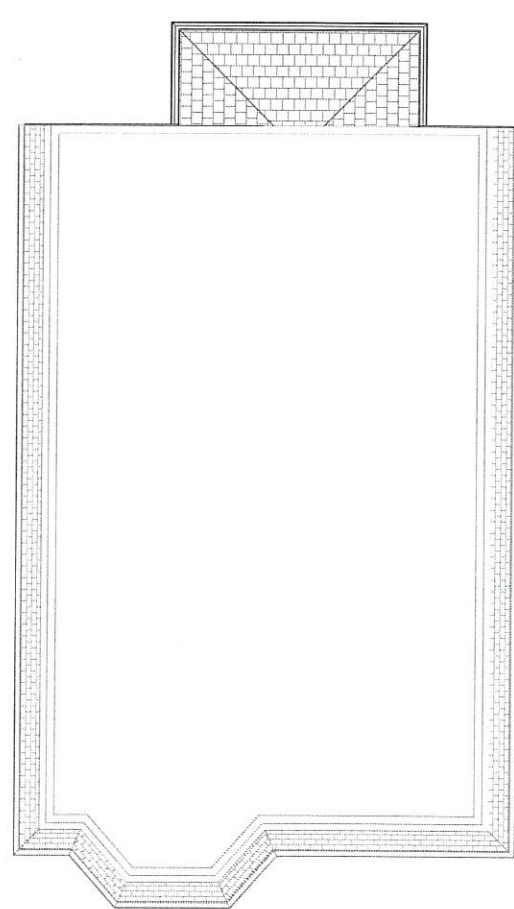
303 Beacon Street,  
Somerville, MA

PROPOSED PLANS

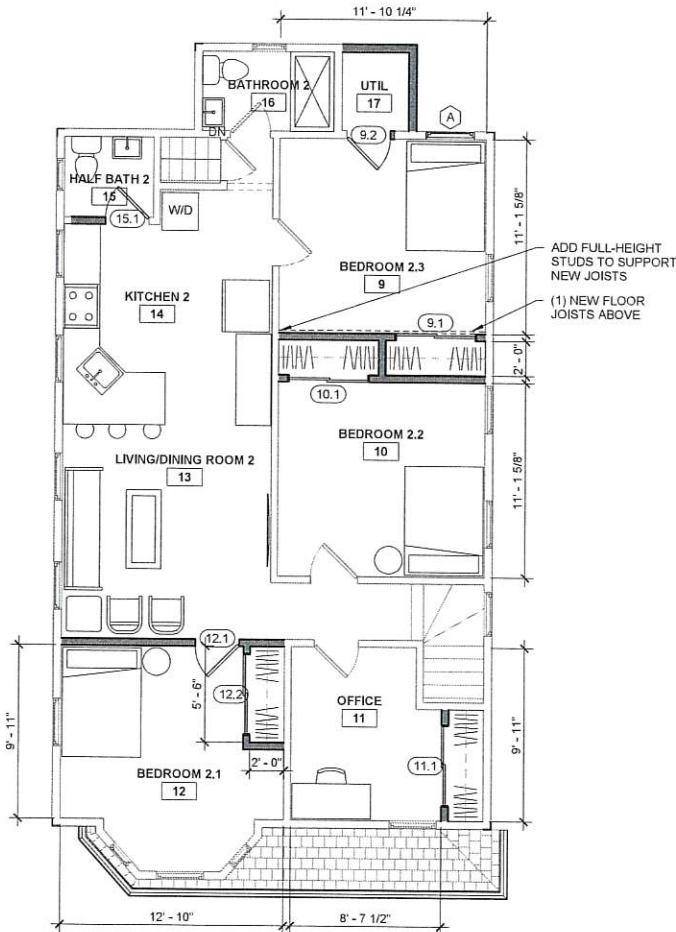
Project number 201901  
Date 9/30/2019

A2

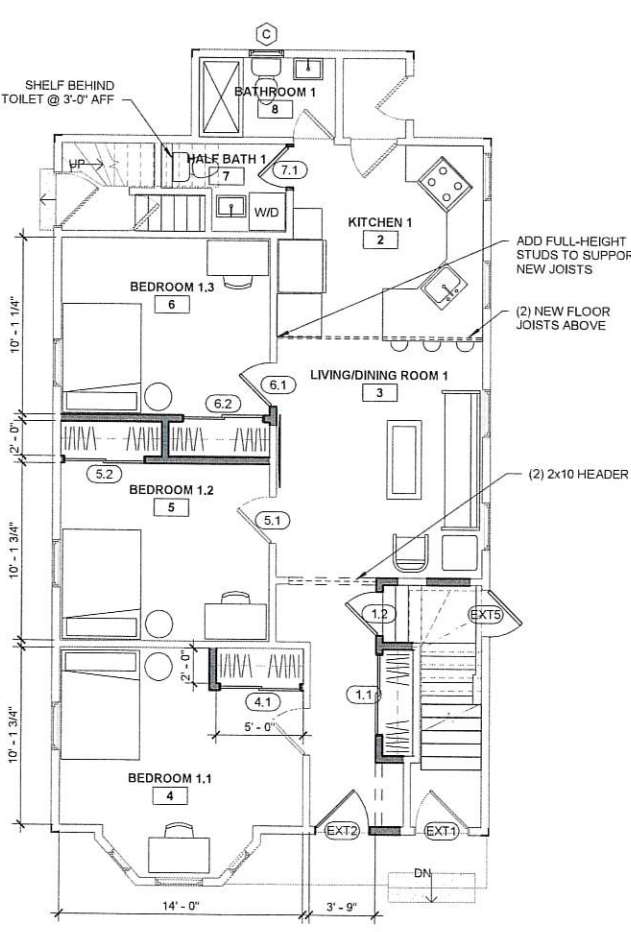
Scale As indicated



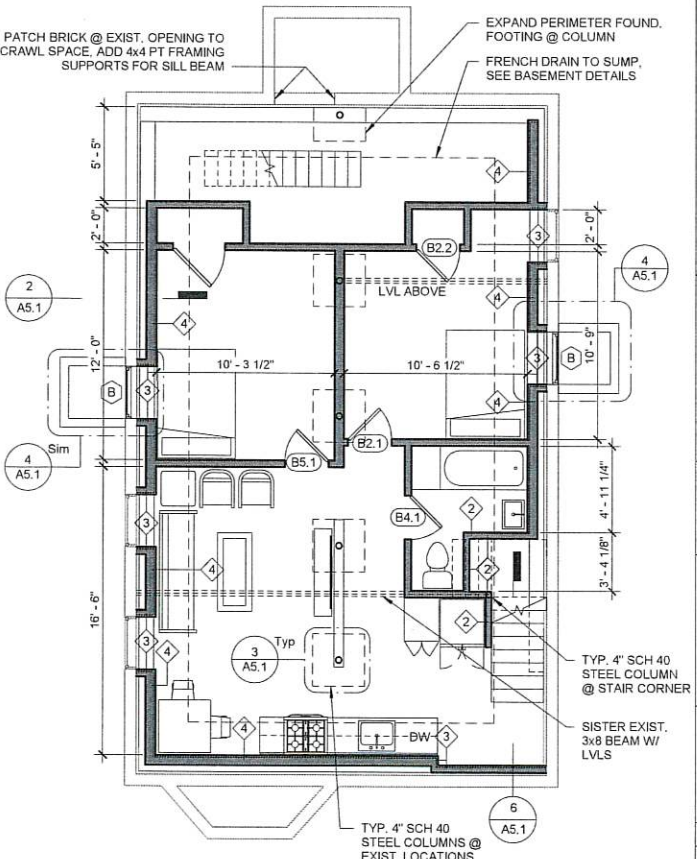
4 PROPOSED ROOF PLAN  
3/16" = 1'-0"



3 PROPOSED SECOND FLOOR PLAN  
3/16" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN  
3/16" = 1'-0"



1 PROPOSED BASEMENT PLAN  
3/16" = 1'-0"





10 Grand View Ave  
Somerville, MA 02143  
617-863-6491  
dsidel@mixdesigndevelop.com  
www.mixdesigndevelop.com

- DESIGN/BUILD NOTES:**
- ALL WORK RELATED TO PLUMBING, ELECTRICAL, FIRE ALARM, HVAC, AND FIRE PROTECTION SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED ON A DESIGN/BUILD BASIS. ALL WORK SHALL COMPLY WITH ALL RELEVANT FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
  - HVAC, ELECTRICAL, EMERGENCY LIGHTING, FIRE PROTECTION AND FIRE ALARM LAYOUTS WHERE SHOWN ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY. INSTALLERS SHALL HAVE FULL RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE ARCHITECT FROM ANY AND ALL LIABILITY IN CONNECTION THEREIN.
  - ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.

- ELECTRICAL NOTES:**
- GO SHALL PROVIDE ALL CUTTING, CORING, PATCHING OF CHASES IN FLOORS OR WALLS AS REQUIRED. MAINTAIN REQUIRED FIRE PROTECTION.
  - MOUNTING HEIGHTS FOR ELECTRICAL RECEPTACLES AND SWITCHES SHALL MATCH EXISTING BUILDING EQUIPMENT AND CODE. ELECTRICAL RECEPTACLES MAY BE NO LOWER THAN 18" A.F.F. (CENTERLINE) MAXIMUM HEIGHT FOR CONTROLS IS 48" A.F.F.
  - COVER PLATES FOR ANY DEVICES SHALL NOT BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED.
  - ALL ELECTRICAL WORK SHALL BE COORDINATED WITH HVAC, CABINETWORK, PARTITION CONSTRUCTION AND ANY OTHER WORK WHERE SO REQUIRED/APPROPRIATE EVEN IF NOT SPECIFICALLY REQUESTED.
  - ELECTRICAL CONTRACTOR WILL COORDINATE ANY CHANGES OR CHANGE REQUESTS IN ELECTRICAL POWER OR DEVICE REQUIREMENTS WITH OWNER AND ARCHITECT.
  - WHERE REQUIRED TO PASS CABLES THROUGH THE STRUCTURE OR FLOOR, ALL SLEEVES AND CORES AROUND THE CABLES SHALL BE TIGHTLY PACKED WITH APPROVED FIRE-SAFE MATERIALS TO MAINTAIN SMOKE AND FIRE INTEGRITY BETWEEN FLOOR/WALLS.
  - COMPLY WITH ALL MANUFACTURER REQUIREMENTS FOR ELECTRICAL, TELEPHONE, AND OTHER ASSOCIATED DEVICES.

**APPLICABLE CODE:**  
MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND 2015 INTERNATIONAL BUILDING CODE

- GENERAL NOTES:**
- ALL TYPICAL NOTES ON EACH DRAWING TO APPLY UNIFORMLY.



No.	Description	Date

**CASSA**  
303 Beacon Street,  
Somerville, MA

## PLANS

Project number 201901  
Date 10/29/2019

**A2**

Scale As indicated

INTERIOR PARTITION SCHEDULE										
TYPE NO.	FRAMING				SHEATHING			INSULATION	OVERALL DIMENSIONS	
	MATERIAL	SIZE	GAUGE	SPACING	TYPE	1ST SIDE	2ND SIDE	TYPE	WIDTH	HEIGHT
1	WD	2x4	-	16" OC	GWB	5/8"	5/8"	-	4 3/4"	UD
2	WD	2x4	-	16" OC	M	5/8"	-	-	4 1/8"	UD
5	WD	2x6	-	16" OC	GWB	5/8"	5/8"	-	6 3/4"	UD

### WALL SCHEDULE NOTES

FRAMING  
WD - WOOD STUD  
PT - PRESSURE TREATED WOOD STUD

SHEATHING  
GWB - GYPSUM WALL BOARD  
M - MOLD-RESISTANT GYPSUM WALL BOARD

OVERALL DIMENSIONS  
UD - UNDERSIDE OF STRUCTURE

GENERAL NOTES:  
A. PARTITIONS ARE TYPE 1 UNLESS OTHERWISE MARKED.

DOOR SCHEDULE										
LOCATION DOOR NUMBER	DOOR		FRAME		DIMENSIONS		HDFR SET	NOTES		
	TYP E	MAT	FINISH	TYPE	MAT	FINISH				
B2.1	SP	WD	PT	PH	WD	PT	30"	80"		
B2.2	SP	WD	PT	PH	WD	PT	30"	80"		
B4.1	SP	WD	PT	PH	WD	PT	30"	80"		
B5.1	SP	WD	PT	PH	WD	PT	30"	80"		
B5.2	SP	WD	PT	PH	WD	PT	36"	80"		

### DOOR SCHEDULE NOTES

DOOR  
SP - SINGLE PANEL  
WD - WOOD  
PT - PAINTED

FRAMING  
PH - PRE-HUNG  
WD - WOOD  
PT - PAINTED

GENERAL NOTES:  
A. PROVIDE ALL NEW ARCHITECTURAL COMPOSITE DOORS.

FINISH SCHEDULE					
ROOM NUMBER	ROOM NAME	WALL FINISH	BASE FINISH	FLOOR FINISH	CEILING FINISH
B1	UTILITY/STORAGE	PT	WB	UC	GWB
B2	BEDROOM B1	PT	WB	CPT	GWB
B2A	CLOSET	PT	WB	CPT	GWB
B3	BATHROOM B	PT/T	WB	LVT	GWB
B4	LIVING/DINING/KITCHEN	PT	WB	LVT	GWB
B5	BEDROOM B2	PT	WB	CPT	GWB
B5A	CLOSET	PT	WB	CPT	GWB

### FINISH SCHEDULE NOTES

WALL  
PT - PAINTED  
T - TILE

BASE  
WB - PAINTED WOOD BASE

FLOOR  
UC - UNFINISHED CONCRETE  
CPT - CARPET  
LVT - VINYL TILE

CEILING  
GWB - PAINTED GWB CEILING

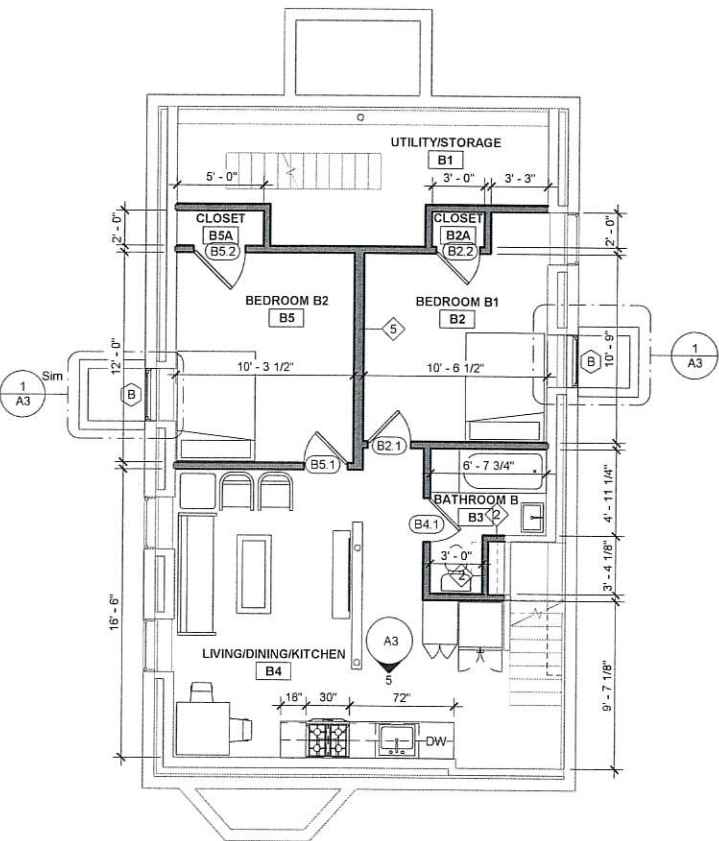
- GENERAL NOTES:**
- ALL GWB TO BE INSTALLED W/ TAPERED EDGES AND (3) COATS JOINT FINISH.
  - NO SWITCH DEVICE COVER PLATES SHALL BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED. IF SAID UNITS ARE INSTALLED PRIOR TO FINISHES, THEY SHALL BE REMOVED PRIOR TO PROCEEDING WITH FINISH WORK.
  - PAINT SHALL BE BEST QUALITY LOWVOC LATEX OR ALKYD BASE AS SPECIFIED. THE GC SHALL SUBMIT ANY SMOKE/FIRE CLASSIFICATION FOR ALL WALL FINISHES AS REQUIRED BY ANY GOVERNING AUTHORITIES.
  - PAINT @ WALL FIELD: ENAMEL EGGSHELL FINISH, COLOR BY OWNER.
  - PAINT @ ACCENT WALL: ENAMEL SEMI-GLOSS FINISH, COLOR BY OWNER.
  - PAINT @ DOOR JAMBS: ENAMEL SEMI-GLOSS FINISH, COLOR BY OWNER.
  - PAINT @ DOOR PANELS: ENAMEL SEMI-GLOSS FINISH, COLOR BY OWNER.
  - PAINT @ GWB CLG: SATIN, CLG BRIGHT WHITE, (3) COATS MIN.

- ON FERROUS METAL: ALKYD METAL PRIMER SHOP COAT, 2 COATS ALKYD ENAMEL SEMI-GLOSS FINISH.
- ON ALUMINUM: ZINC CHROMATE PRIMER SHOP COAT, 2 COATS ALKYD ENAMEL SEMI-GLOSS FINISH.
- ON PAINTED WOOD: ALKYD UNDERCOAT, 2 COATS ALKYD ENAMEL SEMI-GLOSS (OR SHEEN AS NOTED) FINISH.
- ON GYPSUM WALL BOARD: LATEX PRIMER, 2 COATS LATEX ENAMEL EGGSHELL (OR SHEEN AS NOTED) FINISH.

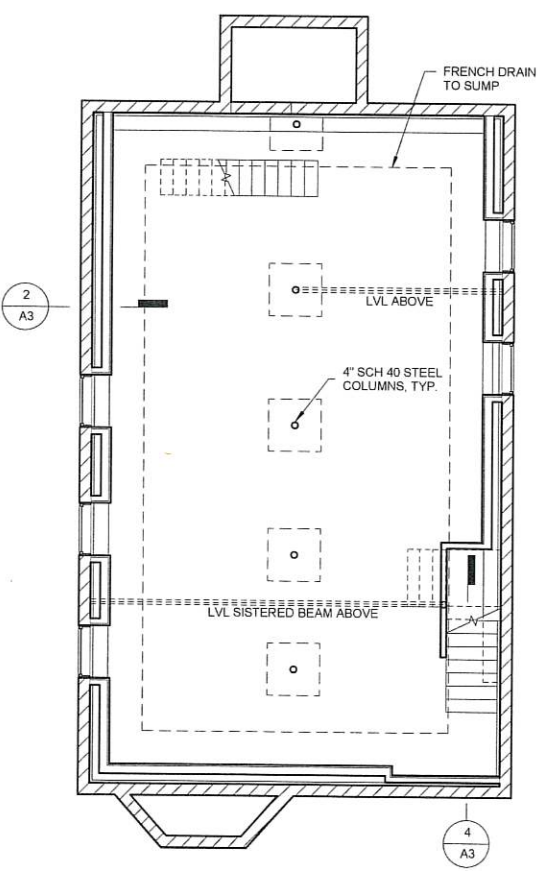
WINDOW SCHEDULE					
ZE	R.O. WIDTH	R.O. HEIGHT	SILL HEIGHT	TYPE	NOTES
B	36"	51"	43 1/4"	DH	

### WINDOW SCHEDULE NOTES

TYPE  
DH - DOUBLE HUNG

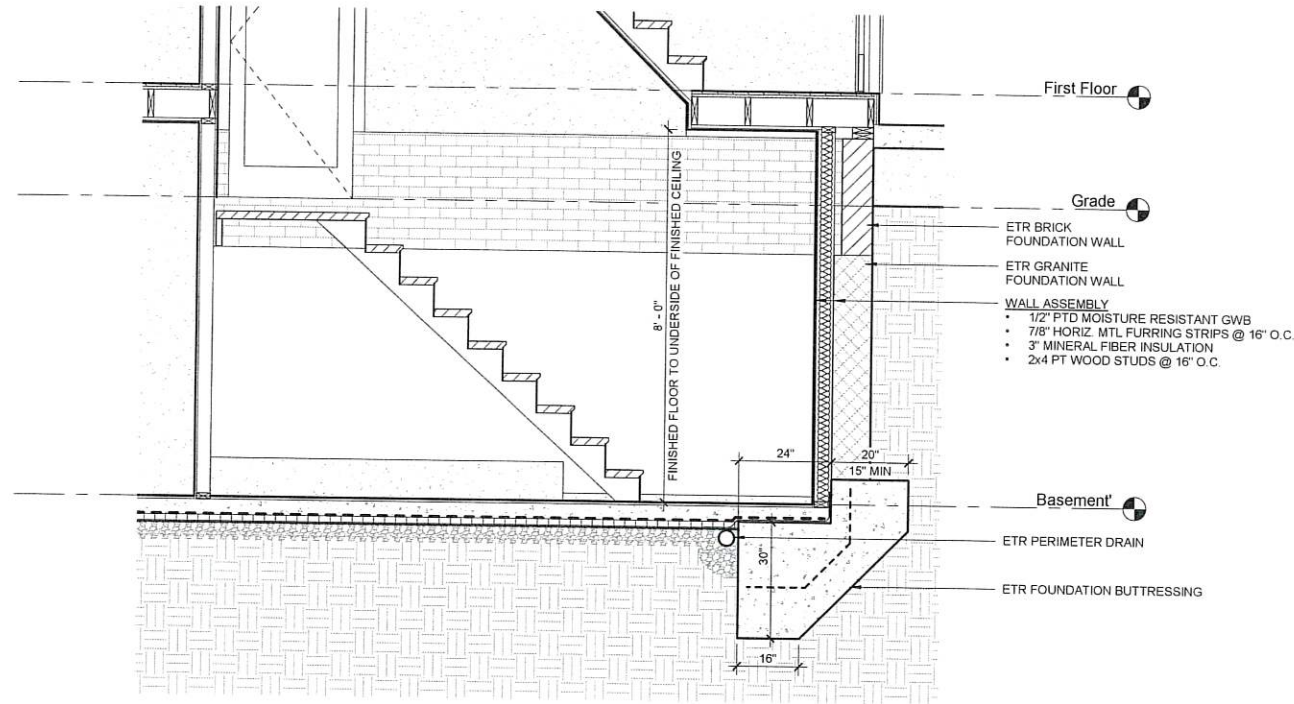


2 PROPOSED BASEMENT PLAN  
3/16" = 1'-0"

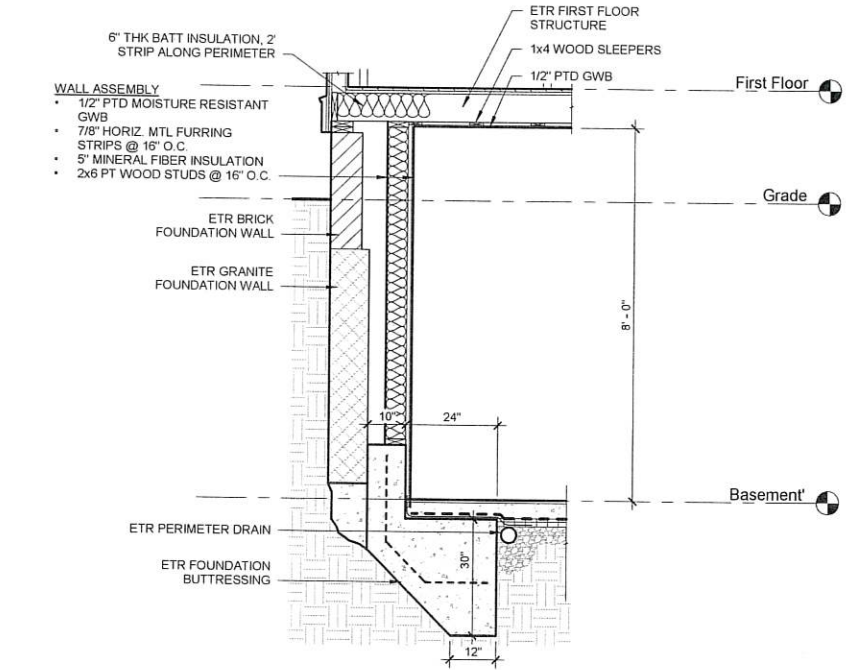


1 EXISTING BASEMENT PLAN  
3/16" = 1'-0"



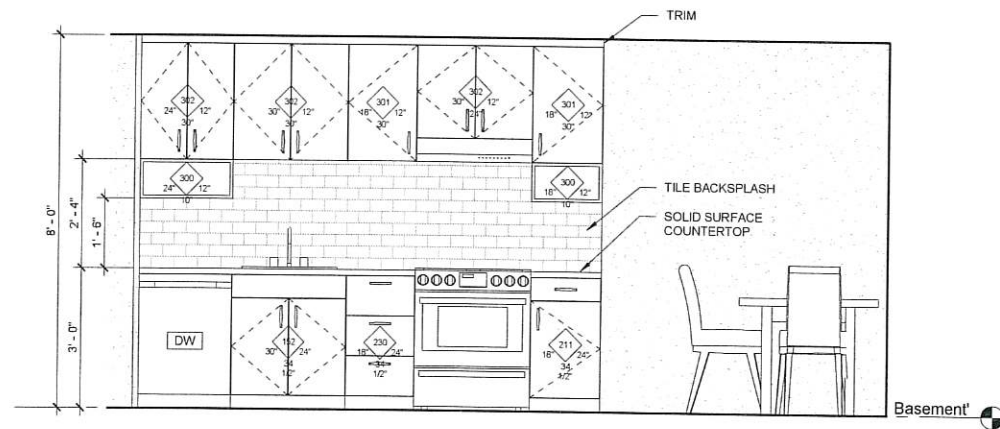
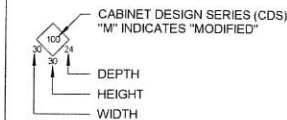


④ SECT DETAIL @ FOUNDATION AT STAIR  
 1/2" = 1'-0"

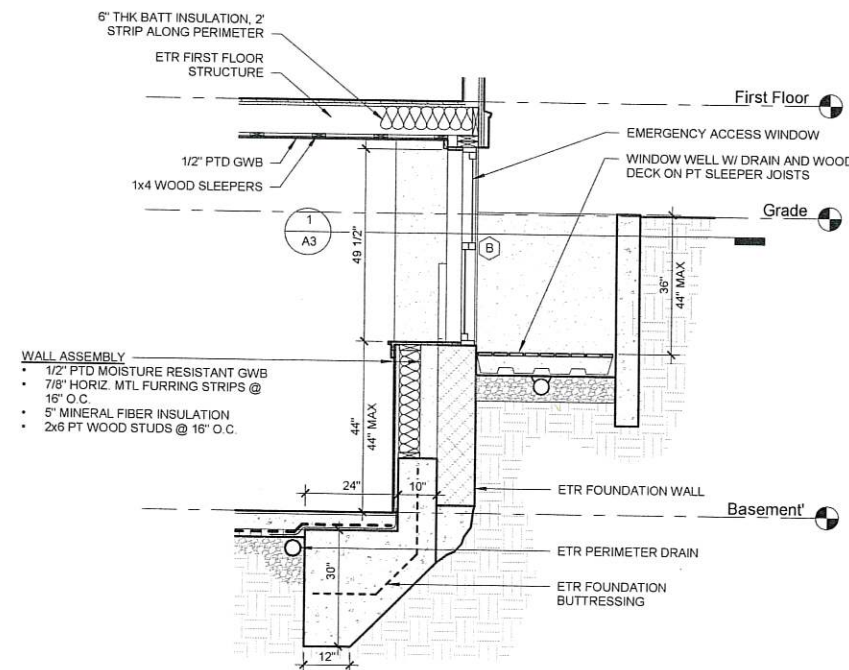


② TYP DETAIL @ FOUNDATION  
 1/2" = 1'-0"

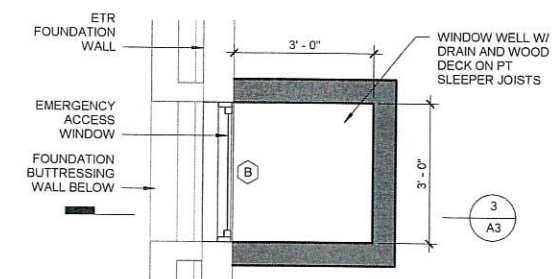
CABINET NOMENCLATURE  
 PER NATIONAL AMERICAN ARCHITECTURAL  
 WOODWORK STANDARDS (NAAWS)



⑤ INT ELEV @ KITCHEN  
 1/2" = 1'-0"



③ TYP. SECTION DETAIL @ WINDOW WELL  
 1/2" = 1'-0"



① TYP. PLAN DETAIL @ WINDOW WELL  
 1/2" = 1'-0"

- DESIGN/BUILD NOTES:**
- ALL WORK RELATED TO PLUMBING, ELECTRICAL, FIRE ALARM, HVAC, AND FIRE PROTECTION SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED ON A DESIGN/BUILD BASIS. ALL WORK SHALL COMPLY WITH ALL RELEVANT FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
  - HVAC, ELECTRICAL, EMERGENCY LIGHTING, FIRE PROTECTION AND FIRE ALARM LAYOUTS WHERE SHOWN ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY. INSTALLERS SHALL HAVE FULL RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE ARCHITECT FROM ANY AND ALL LIABILITY IN CONNECTION THEREIN.
  - ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
- ELECTRICAL NOTES:**
- GC SHALL PROVIDE ALL CUTTING, CORING, PATCHING OF CHASES IN FLOORS OR WALLS AS REQUIRED. MAINTAIN REQUIRED FIRE PROTECTION.
  - MOUNTING HEIGHTS FOR ELECTRICAL RECEPTACLES AND SWITCHES SHALL MATCH EXISTING BUILDING EQUIPMENT AND CODE. ELECTRICAL RECEPTACLES MAY BE NO LOWER THAN 18" A.F.F. (CENTERLINE) MAXIMUM HEIGHT FOR CONTROLS IS 48" A.F.F.
  - COVER PLATES FOR ANY DEVICES SHALL NOT BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED.
  - ALL ELECTRICAL WORK SHALL BE COORDINATED WITH HVAC, CABINETWORK, PARTITION CONSTRUCTION AND ANY OTHER WORK WHERE SO REQUIRED/APPROPRIATE EVEN IF NOT SPECIFICALLY REQUESTED.
  - ELECTRICAL CONTRACTOR WILL COORDINATE ANY CHANGES OR CHANGE REQUESTS IN ELECTRICAL POWER OR DEVICE REQUIREMENTS WITH OWNER AND ARCHITECT.
  - WHERE REQUIRED TO PASS CABLES THROUGH THE STRUCTURE OR FLOOR, ALL SLEEVES AND CORES AROUND THE CABLES SHALL BE TIGHTLY PACKED WITH APPROVED FIRE-SAFE MATERIALS TO MAINTAIN SMOKE AND FIRE INTEGRITY BETWEEN FLOORS/WALLS.
  - COMPLY WITH ALL MANUFACTURER REQUIREMENTS FOR ELECTRICAL, TELEPHONE, AND OTHER ASSOCIATED DEVICES.

**APPLICABLE CODE:**  
 MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND 2015 INTERNATIONAL BUILDING CODE

**GENERAL NOTES:**

- ALL TYPICAL NOTES ON EACH DRAWING TO APPLY UNIFORMLY.



No.	Description	Date

**CASSA**  
 303 Beacon Street,  
 Somerville, MA

**DETAILS**

Project number 201901  
 Date 10/29/2019

**A3**

Scale As indicated



WINDOW SCHEDULE					
ZE	R.O.	R.O.	SILL HEIGHT	TYPE	NOTES
A	33"	54"	36 1/4"	DH	
B	36"	51"		DH	
C	24"	48"	39"	DH	

WINDOW SCHEDULE NOTES  
TYPE  
DH - DOUBLE HUNG

- GENERAL ELEVATION NOTES
- A. GC SHALL PROVIDE/MAKE AVAILABLE SECURE STORAGE SPACE IN CLOSE PROXIMITY TO, OR PART OF, THE JOB SITE FOR SAFE STORAGE OF MILLWORK/CARPENTER'S TOOLS/EQUIPMENT PRIOR TO ARRIVAL OF SAID PERSONNEL AT JOB SITE.
  - B. PAINT SHALL BE BEST QUALITY LOW/VOC LATEX OR ALKYD BASE AS SPECIFIED. THE GC SHALL SUBMIT ANY SMOKE/FIRE CLASSIFICATION FOR ALL WALL FINISHES AS REQUIRED BY ANY GOVERNING AUTHORITIES.
  - C. PAINT @ WALL FIELD: ENAMEL, EGGSHELL FINISH, COLOR BY OWNER.
  - D. PAINT @ ACCENT WALL: ENAMEL, SEMI-GLOSS FINISH, COLOR BY OWNER.
  - E. PAINT @ DOOR JAMBS: ENAMEL, SEMI-GLOSS FINISH, COLOR BY OWNER.
  - F. PAINT @ DOOR PANELS: ENAMEL, SEMI-GLOSS FINISH, COLOR BY OWNER.
  - G. PAINT @ GWB CLG: SATIN, CLG BRIGHT WHITE, (3) COATS MIN.
- a. ON FERROUS METAL: ALKYD METAL PRIMER SHOP COAT, 2 COATS ALKYD ENAMEL SEMI-GLOSS FINISH.  
b. ON ALUMINUM: ZINC CHROMATE PRIMER SHOP COAT, 2 COATS ALKYD ENAMEL SEMI-GLOSS FINISH.  
c. ON PAINTED WOOD: ALKYD UNDERCOAT, 2 COATS ALKYD ENAMEL SEMI-GLOSS (OR SHEEN AS NOTED) FINISH.  
d. ON GYPSUM WALL BOARD: LATEX PRIMER, 2 COATS LATEX ENAMEL EGGSHELL (OR SHEEN AS NOTED) FINISH.

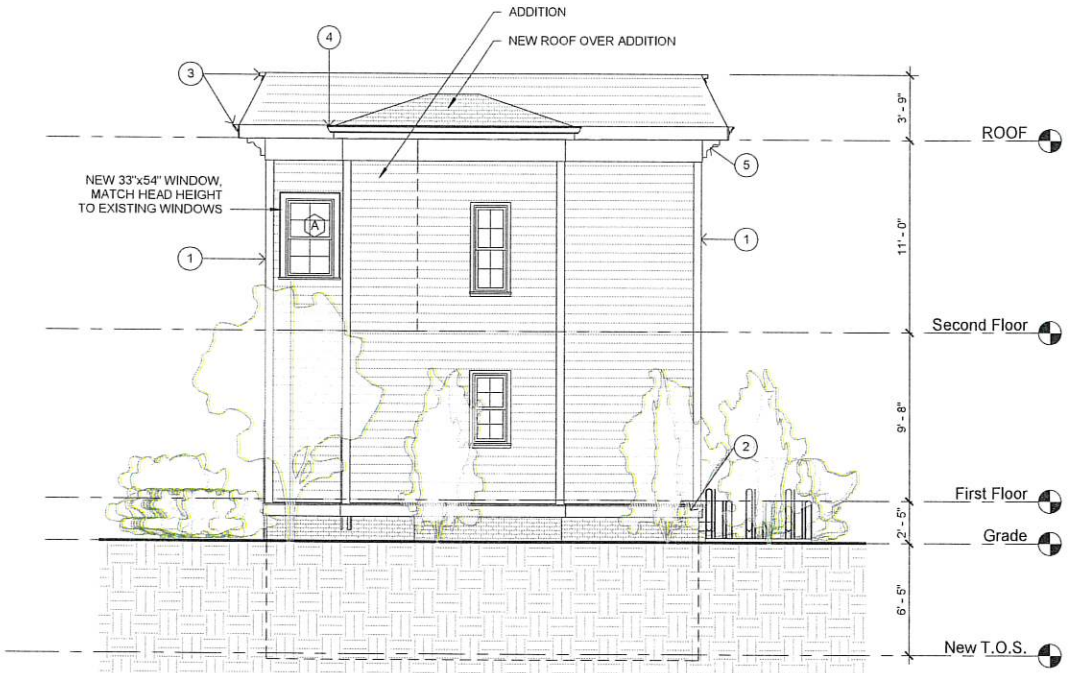
- ELEVATION NOTES
- A. NEW CEMENTITIOUS LAP SIDING, 5" EXPOSURE, UNLESS OTHERWISE NOTED
  - B. NEW ARCHITECTURAL ASPHALT SHINGLE ROOFS, UNLESS OTHERWISE NOTED
1. 1" THK BORAL CORNERBOARD TRIM, 5 1/2" EXPOSURE EACH FACE  
2. NEW 3/4" THK PVC WATERTABLE W/ SILL  
3. SCRAPE AND PAINT EXISTING TRIM  
4. NEW 5" K-STYLE GUTTER  
5. SCRAPE AND PAINT EXISTING DECORATIVE BRACKETS



④ PROPOSED SIDE 2 ELEVATION  
3/16" = 1'-0"



③ PROPOSED SIDE 1 ELEVATION  
3/16" = 1'-0"



② PROPOSED REAR ELEVATION  
3/16" = 1'-0"



① PROPOSED FRONT ELEVATION  
3/16" = 1'-0"



10 Grand View Ave  
Somerville, MA 02143  
617-863-6491  
dsidel@mixondevelopment.com  
www.mixondevelopment.com

- DESIGN/BUILD NOTES:
- ALL WORK RELATED TO PLUMBING, ELECTRICAL, FIRE ALARM, HVAC, AND FIRE PROTECTION SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED ON A DESIGN/BUILD BASIS. ALL WORK SHALL COMPLY WITH ALL RELEVANT FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
  - HVAC, ELECTRICAL, EMERGENCY LIGHTING, FIRE PROTECTION AND FIRE ALARM LAYOUTS WHERE SHOWN ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY. INSTALLERS SHALL HAVE FULL RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE ARCHITECT FROM ANY AND ALL LIABILITY IN CONNECTION THEREIN.
  - ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.

- ELECTRICAL NOTES:
- GC SHALL PROVIDE ALL CUTTING, CORING, PATCHING OF CHASES IN FLOORS OR WALLS AS REQUIRED, MAINTAIN REQUIRED FIRE PROTECTION.
  - MOUNTING HEIGHTS FOR ELECTRICAL RECEPTACLES AND SWITCHES SHALL MATCH EXISTING BUILDING EQUIPMENT AND CODE. ELECTRICAL RECEPTACLES MAY BE NO LOWER THAN 18" A.F.F. (CENTERLINE) MAXIMUM HEIGHT FOR CONTROLS IS 48" A.F.F.
  - COVER PLATES FOR ANY DEVICES SHALL NOT BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED.
  - ALL ELECTRICAL WORK SHALL BE COORDINATED WITH HVAC, CABINETWORK, PARTITION CONSTRUCTION AND ANY OTHER WORK WHERE SO REQUIRED/APPROPRIATE EVEN IF NOT SPECIFICALLY REQUESTED.
  - ELECTRICAL CONTRACTOR WILL COORDINATE ANY CHANGES OR CHANGE REQUESTS IN ELECTRICAL POWER OR DEVICE REQUIREMENTS WITH OWNER AND ARCHITECT.
  - WHERE REQUIRED TO PASS CABLES THROUGH THE STRUCTURE OR FLOOR, ALL SLEEVES AND CORES AROUND THE CABLES SHALL BE TIGHTLY PACKED WITH APPROVED FIRE-SAFE MATERIALS TO MAINTAIN SMOKE AND FIRE INTEGRITY BETWEEN FLOORS/WALLS.
  - COMPLY WITH ALL MANUFACTURER REQUIREMENTS FOR ELECTRICAL, TELEPHONE, AND OTHER ASSOCIATED DEVICES.

APPLICABLE CODE:  
MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND 2015 INTERNATIONAL RESIDENTIAL CODE

- GENERAL NOTES:
- ALL TYPICAL NOTES ON EACH DRAWING TO APPLY UNIFORMLY.



No.	Description	Date

CASSA  
303 Beacon Street,  
Somerville, MA

PROPOSED  
ELEVATIONS

Project number 201901  
Date 9/30/2019

A4

Scale As indicated

9/30/2019 4:30:51 PM





10 Grand View Ave  
Somerville, MA 02143  
617-863-6491  
dsidel@mixdesigndevelop.com  
www.mixdesigndevelop.com

- DESIGN/BUILD NOTES:
- ALL WORK RELATED TO PLUMBING, ELECTRICAL, FIRE ALARM, HVAC, AND FIRE PROTECTION SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED ON A DESIGN/BUILD BASIS. ALL WORK SHALL COMPLY WITH ALL RELEVANT FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
  - HVAC, ELECTRICAL, EMERGENCY LIGHTING, FIRE PROTECTION AND FIRE ALARM LAYOUTS WHERE SHOWN ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY. INSTALLERS SHALL HAVE FULL RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE ARCHITECT FROM ANY AND ALL LIABILITY IN CONNECTION THEREIN.
  - ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.

- ELECTRICAL NOTES:
- GC SHALL PROVIDE ALL CUTTING, CORING, PATCHING OF CHASES IN FLOORS OR WALLS AS REQUIRED. MAINTAIN REQUIRED FIRE PROTECTION.
  - MOUNTING HEIGHTS FOR ELECTRICAL RECEPTACLES AND SWITCHES SHALL MATCH EXISTING BUILDING EQUIPMENT AND CODE. ELECTRICAL RECEPTACLES MAY BE NO LOWER THAN 18" A.F.F. (CENTERLINE) MAXIMUM HEIGHT FOR CONTROLS IS 48" A.F.F.
  - COVER PLATES FOR ANY DEVICES SHALL NOT BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED.
  - ALL ELECTRICAL WORK SHALL BE COORDINATED WITH HVAC, CABINETWORK, PARTITION CONSTRUCTION AND ANY OTHER WORK WHERE SO REQUIRED/APPROPRIATE EVEN IF NOT SPECIFICALLY REQUESTED.
  - ELECTRICAL CONTRACTOR WILL COORDINATE ANY CHANGES OR CHANGE REQUESTS IN ELECTRICAL POWER OR DEVICE REQUIREMENTS WITH OWNER AND ARCHITECT.
  - WHERE REQUIRED TO PASS CABLES THROUGH THE STRUCTURE OR FLOOR, ALL SLEEVES AND CORES AROUND THE CABLES SHALL BE TIGHTLY PACKED WITH APPROVED FIRE-SAFE MATERIALS TO MAINTAIN SMOKE AND FIRE INTEGRITY BETWEEN FLOORS/WALLS. COMPLY WITH ALL MANUFACTURER REQUIREMENTS FOR ELECTRICAL, TELEPHONE, AND OTHER ASSOCIATED DEVICES.

APPLICABLE CODE:  
MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND 2015 INTERNATIONAL RESIDENTIAL CODE

- GENERAL NOTES:
- ALL TYPICAL NOTES ON EACH DRAWING TO APPLY UNIFORMLY.



No.	Description	Date

CASSA  
303 Beacon Street,  
Somerville, MA

## DEMOLITION PLANS

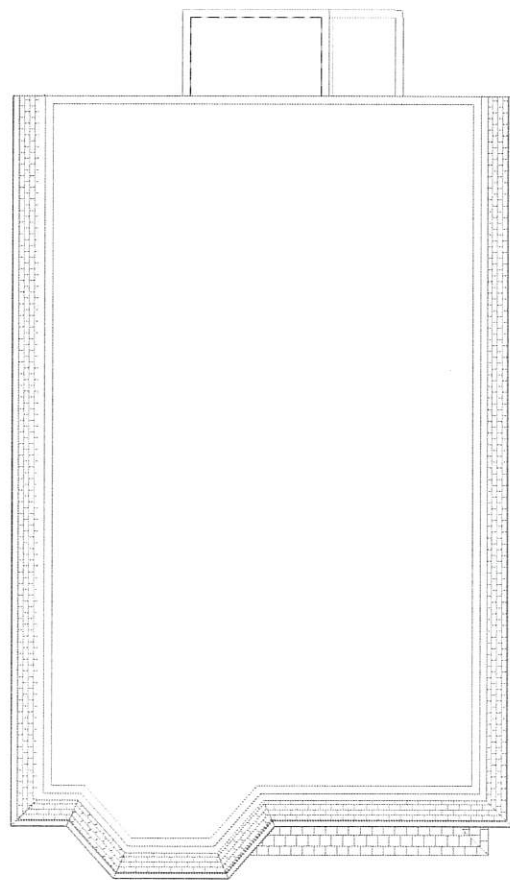
Project number 201901  
Date 9/30/2019

AD2

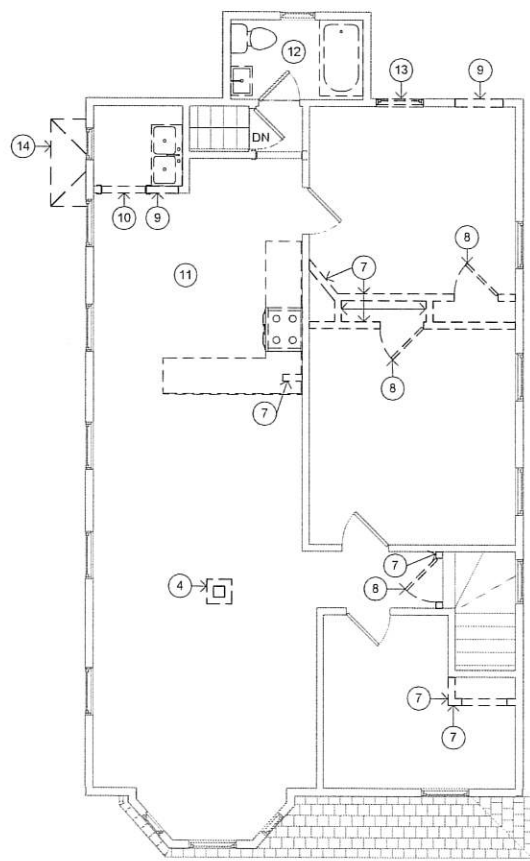
Scale As indicated

- GENERAL DEMOLITION NOTES:
- COVER AND PROTECT HVAC REGISTERS, VENTS, AND DUCTS DURING DEMOLITION AND CONSTRUCTION.
  - REMOVE AND DISPOSE OF ALL NON-WOOD FLOORING.
  - REMOVE AND DISPOSE OF ALL WALL COVERINGS THAT ARE NOT PLASTER OR GWB.
  - ALL ROOFING, SIDING, AND WINDOWS TO BE REMOVED AND REPLACED. DECORATIVE TRIM AND BRACKETS TO BE RETAINED WHERE POSSIBLE.

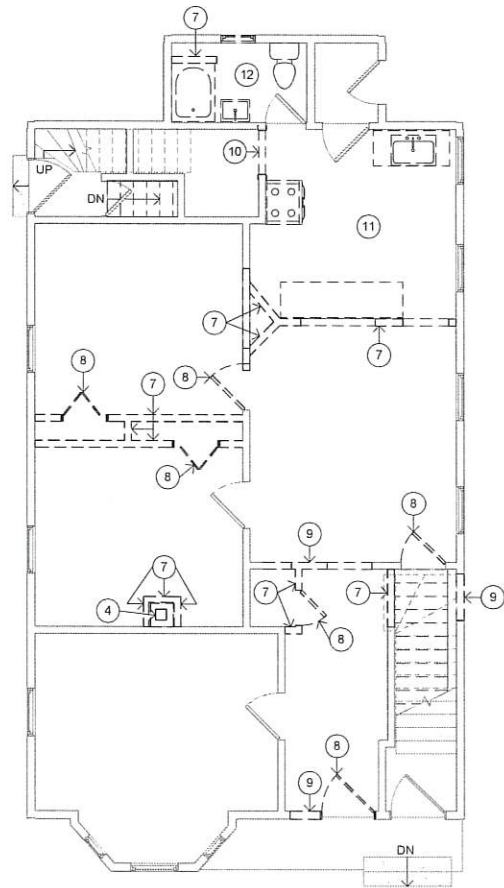
- DEMOLITION NOTES:
- REMOVE AND DISPOSE OF BRICK PIER.
  - REMOVE AND DISPOSE OF STEEL SUPPORT COLUMN.
  - REMOVE AND DISPOSE OF BRICK WALLS.
  - REMOVE AND DISPOSE OF CHIMNEY FROM TOP TO FIRST FLOOR.
  - REMOVE AND DISPOSE OF STAIR.
  - REMOVE AND DISPOSE OF WALL.
  - REMOVE AND DISPOSE OF CONCRETE SLAB.
  - REMOVE AND STORE DOOR PANEL, REMOVE AND DISPOSE OF DOOR FRAME.
  - REMOVE AND DISPOSE OF PORTION OF WALL FOR NEW DOOR OR WINDOW. SEE CONSTRUCTION PLANS AND ELEVATIONS AND DOOR SCHEDULE.
  - REMOVE AND DISPOSE OF FRAMED OPENING FOR NEW DOOR. SEE CONSTRUCTION PLAN.
  - REMOVE AND DISPOSE OF APPLIANCES, PLUMBING FIXTURES, COUNTERTOPS, CABINETS, AND MOUNTED ACCESSORIES.
  - REMOVE AND DISPOSE OF PLUMBING FIXTURES, VANITY, AND MOUNTED ACCESSORIES.
  - REMOVE AND DISPOSE OF WINDOW.
  - REMOVE AND DISPOSE OF ROOF.



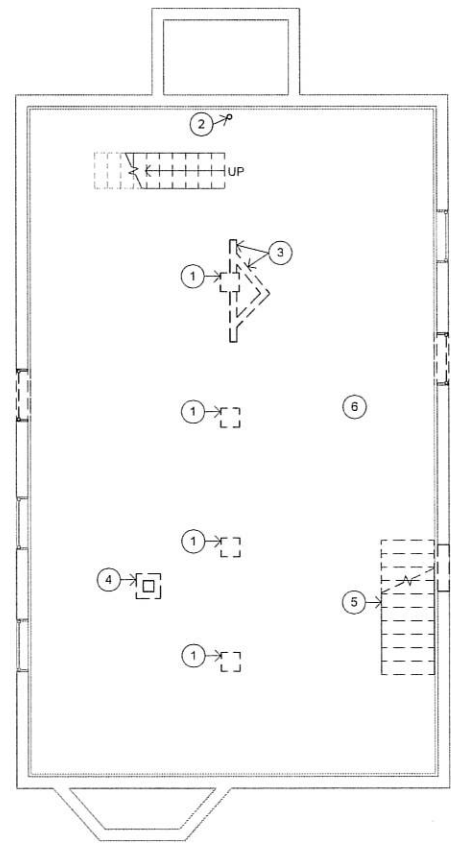
4 DEMO THIRD FLOOR PLAN  
3/16" = 1'-0"



3 DEMO SECOND FLOOR PLAN  
3/16" = 1'-0"



2 DEMO FIRST FLOOR PLAN  
3/16" = 1'-0"



1 DEMO BASEMENT PLAN  
3/16" = 1'-0"



**DESIGN/BUILD NOTES:**

1. ALL WORK RELATED TO PLUMBING, ELECTRICAL, FIRE ALARM, HVAC, AND FIRE PROTECTION SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED ON A DESIGN/BUILD BASIS. ALL WORK SHALL COMPLY WITH ALL RELEVANT FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.
2. HVAC, ELECTRICAL, EMERGENCY LIGHTING, FIRE PROTECTION AND FIRE ALARM LAYOUTS WHERE SHOWN ARE FOR INFORMATION AND COORDINATION PURPOSES ONLY. INSTALLERS SHALL HAVE FULL RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE ARCHITECT FROM ANY AND ALL LIABILITY IN CONNECTION THEREIN.
3. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.

**ELECTRICAL NOTES:**

1. GC SHALL PROVIDE ALL CUTTING, CORING, PATCHING OF CHASES IN FLOORS OR WALLS AS REQUIRED. MAINTAIN REQUIRED FIRE PROTECTION.
2. MOUNTING HEIGHTS FOR ELECTRICAL RECEPTACLES AND SWITCHES SHALL MATCH EXISTING BUILDING EQUIPMENT AND CODE. ELECTRICAL RECEPTACLES MAY BE NO LOWER THAN 18" A.F.F. (CENTERLINE) MAXIMUM HEIGHT FOR CONTROLS IS 48" A.F.F.
3. COVER PLATES FOR ANY DEVICES SHALL NOT BE INSTALLED UNTIL APPLICATION OF ALL FINISH MATERIALS HAS BEEN COMPLETED.
4. ALL ELECTRICAL WORK SHALL BE COORDINATED WITH HVAC, CABINETWORK, PARTITION CONSTRUCTION AND ANY OTHER WORK WHERE SO REQUIRED/APPROPRIATE EVEN IF NOT SPECIFICALLY REQUESTED.
5. ELECTRICAL CONTRACTOR WILL COORDINATE ANY CHANGES OR CHANGE REQUESTS IN ELECTRICAL POWER OR DEVICE REQUIREMENTS WITH OWNER AND ARCHITECT.
6. WHERE REQUIRED TO PASS CABLES THROUGH THE STRUCTURE OR FLOOR, ALL SLEEVES AND CORES AROUND THE CABLES SHALL BE TIGHTLY PACKED WITH APPROVED FIRE-SAFE MATERIALS TO MAINTAIN SMOKE AND FIRE INTEGRITY BETWEEN FLOORS/WALLS.
7. COMPLY WITH ALL MANUFACTURER REQUIREMENTS FOR ELECTRICAL, TELEPHONE, AND OTHER ASSOCIATED DEVICES.

**APPLICABLE CODE:**  
MASSACHUSETTS STATE BUILDING CODE (780 CMR) 9TH EDITION AND 2015 INTERNATIONAL RESIDENTIAL CODE

**GENERAL NOTES:**

1. ALL TYPICAL NOTES ON EACH DRAWING TO APPLY UNIFORMLY.



No.	Description	Date

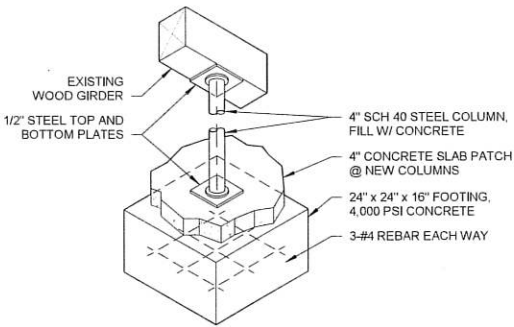
**CASSA**  
303 Beacon Street,  
Somerville, MA

**BASEMENT DETAILS**

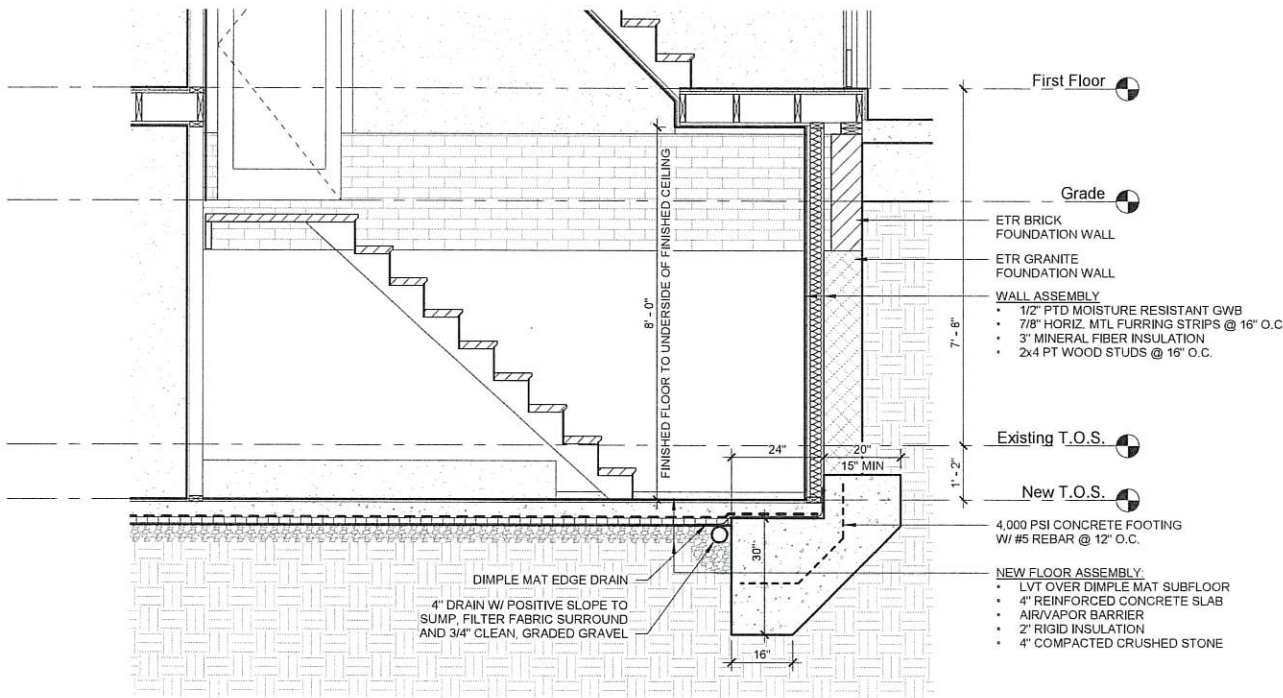
Project number	201901
Date	9/30/2019

**A5.1**

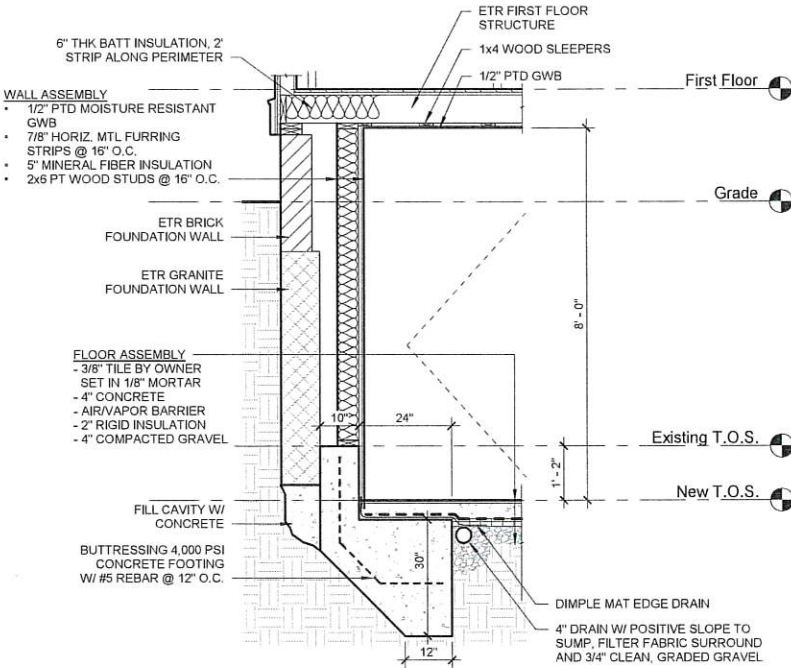
Scale	1/2" = 1'-0"
-------	--------------



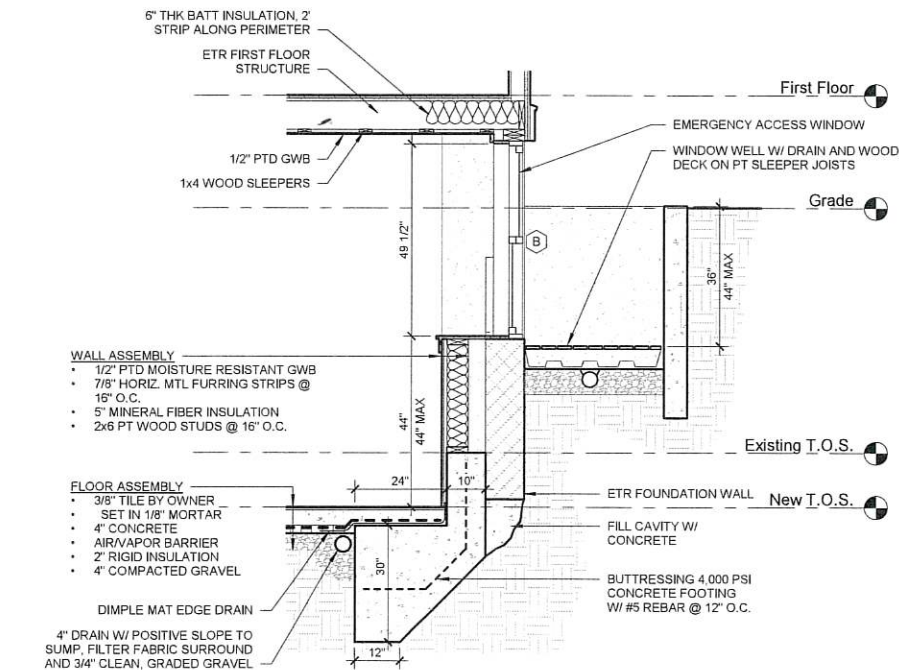
3 TYP DETAIL @ COLUMN FOOTING  
1/2" = 1'-0"



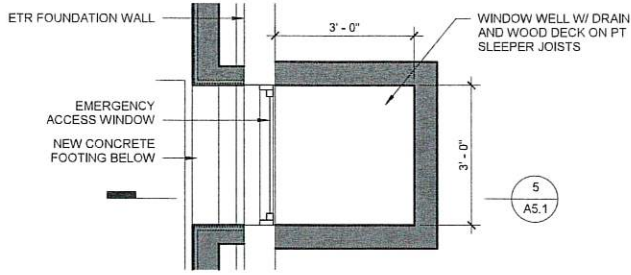
6 SECT DETAIL @ EXCAVATED FOUNDATION AT STAIR  
1/2" = 1'-0"



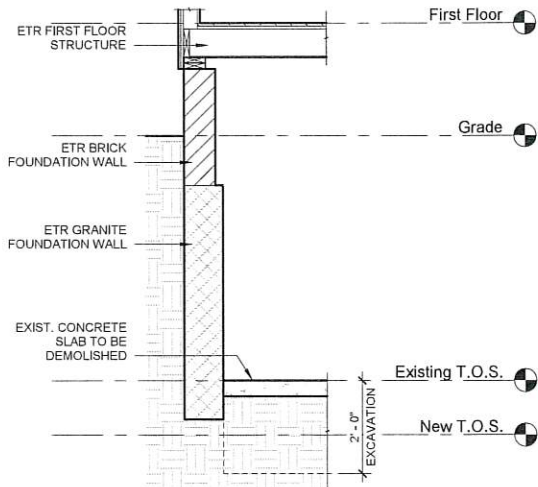
2 TYP DETAIL @ EXCAVATED FOUNDATION  
1/2" = 1'-0"



5 TYP. SECTION DETAIL @ WINDOW WELL  
1/2" = 1'-0"



4 TYP. PLAN DETAIL @ WINDOW WELL  
1/2" = 1'-0"



1 TYP DETAIL @ EXISTING FOUNDATION  
1/2" = 1'-0"